

[ABOVE FOR CTC USE ONLY]

Sublease Agreement dated as of ~~September 21~~ <sup>1995</sup> September 21, 1995,  
Between Rego Park Nursing Home, Ltd., as Landlord  
and

Cellular Telephons Company d/b/a AT&T Wireless Services, as Tenant

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having its principal office at 111-26 Corona Avenue, Flushing, New York 11355 (hereinafter referred to as "Landlord") and CELLULAR TELEPHONE COMPANY d/b/a AT&T WIRELESS SERVICES, a New York general partnership, having an office at 15 East Midland Avenue, Paramus, New Jersey 07652 (hereinafter referred to as "CTC").

#### BACKGROUND

Landlord is the ground lessee of certain property and improvements, including a "Building", having a street address of 111-26 Corona Avenue, being identified as District 11, Lots 38, 41, and 42 in Block 1972 in the Borough of Queens, Queens County, State of New York (collectively, "Property") under a certain lease between Kollel Ner L'Avrohom, a not-for-profit corporation, as Lessor ("Master Landlord") and Landlord, as Lessee, dated September 1, 1972 ("Overlease") for a term expiring October 31, 2003, and has the right to sublease that portion of the Property to CTC as described below. CTC desires to use a portion of the Property as described below for a Radio Cell Site in connection with its federally licensed wireless communications business.

Landlord has obtained the approval of the Master Landlord for this sublease, which approval letter is attached hereto as Exhibit 6.

NOW THEREFORE, in consideration of the foregoing, the terms and conditions hereinafter set forth and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, both parties agree as follows:

1. **SUBLEASE OF PREMISES.** Landlord demises and subleases to CTC certain portions of the Property consisting of approximately 119 square feet in the penthouse on the roof of the Building for an equipment room/closet as described on Exhibit 1 attached hereto as well as space on the roof of the Building on the Property for antennas as described on Exhibit 2 attached hereto (collectively, "Subleased Premises"), together with unlimited access for its uses from the nearest public right-of-way along the Property.

2. **USE.** (a) CTC, at its own cost and expense, may use the Subleased Premises to construct, install, operate, maintain, repair, replace, protect and secure, its radio transmitting and receiving equipment and associated other equipment, accessories and improvements (collectively called "Radio Cell Site"). CTC shall have the right to install up to twelve (12) antennas, plus one (1) two (2) foot dish, fencing and any other accessories appropriate to the successful and secure operation of the Radio Cell Site. Initialing of Exhibit 1 and Exhibit 2 by Landlord shall be deemed Landlord's approval of the location of CTC's equipment room and antenna spaces, respectively. Landlord also grants to CTC rights to (i) install and operate transmission lines from the equipment room to the antenna locations, power lines from the main feed to the equipment room and telephone lines from the main telephone entry point to the equipment room, and (ii) erect, construct or make any Property improvements, alterations or additions ("Tenant's Changes") appropriate for CTC's use, including to enclose or shelter its equipment and to cap or otherwise modify any sprinkler system in the equipment room, if permitted by

Radio Cell Site brought onto the Subleased Premises by CTC shall be and remain personal property of CTC and, at CTC's option, may be removed by CTC at any time during the term, or within a reasonable time after termination or expiration of this Sublease.

(b) Landlord agrees to allow CTC to make all reasonably appropriate alterations to the Property in order to accomplish Tenant's Changes in accordance with CTC's plans and specifications ("Plans"), which Plans shall be submitted to Landlord for Landlord's review and approval, not to be unreasonably withheld or delayed (and in no event delayed beyond fifteen (15) days). After (i) acceptance of any Plans by Landlord or (ii) Landlord's failure to provide a written response to CTC's proposed Plans within fifteen (15) days of their receipt by Landlord or (iii) Landlord's failure to provide a written response within five (5) days of receipt of Plans revised by CTC after comment from Landlord, then the Plans shall become binding upon Landlord. When they are deemed approved, the Plans shall be incorporated in the Sublease as Exhibit 3. If CTC wishes to make subsequent Tenant's Changes or related alterations to the Building or Property, CTC shall be entitled to do so with Landlord's consent, not to be unreasonably withheld or delayed (and in no event delayed beyond fifteen (15) days), upon submission of new Plans to Landlord. Landlord acknowledges that all Plans are the sole property of CTC, that they may incorporate trade secrets or other confidential material and that they are provided to Landlord in confidence. Landlord shall not knowingly permit or suffer any Person to copy or utilize the Plans for any purpose other than as provided in this Sublease and shall return the Plans to CTC promptly upon request.

(c) Landlord expressly agrees that all rights granted to CTC under this Sublease are irrevocable until expiration or sooner termination as provided in this Sublease.

3. **TERM.** The initial Sublease term shall be five (5) years, commencing on the date the sublease contingency in Paragraph 6 below is satisfied or waived and a building permit issued, but no later than the commencement of construction by CTC of the Radio Cell Site ("Commencement Date"). The initial term shall end on the day before the fifth (5th) anniversary of the Commencement Date. As used herein, "term" refers to the initial term and any renewal term as herein provided. If, at any time during this Sublease, CTC determines that the Subleased Premises has become unsuitable for CTC's operation due to: (a) governmental regulations or CTC's inability to obtain or maintain any permit or license, therefore or undue risks to CTC of governmental action or intervention or third party liability, (b) engineering or other technical standards or causes or interference by or to CTC's operation that cannot be resolved, (c) subsequent changes in system or network design, or (d) destruction or damage to the Subleased Premises or the taking thereof (by partial condemnation or otherwise) sufficient, in CTC's reasonable judgment, to adversely affect CTC's use of the Radio Cell Site, then, in any such case, CTC may terminate this Sublease by notice to Landlord.

4. RENT. Commencing on the Commencement Date, CTC will pay Landlord monthly rent in advance of \$1,555.67. If the term of the Sublease commences or ends on any day other than the first or last day of a calendar month, a pro rata fraction of a full month's rental shall be paid for the partial month.

The annual rent shall be increased by 3% over the previous year's rent.

5. RENEWAL OPTIONS. CTC shall have the option of renewing this Sublease for one (1) successive period of five (5) years, upon the same terms and conditions which were in effect during the initial term, subject to Landlord's ability to extend the Overlease, in accordance with Exhibit 6 attached hereto. This Sublease shall be automatically renewed for such renewal period unless, at least sixty (60) days prior to the expiration of the initial term, CTC notifies Landlord of its intention not to allow the Sublease to renew. If CTC provides Landlord with such a notice, the option shall be rendered null and void and this Sublease shall expire at the end of the then current period.

Each party shall have the option of renewing this Sublease (if CTC exercised its first option) for two (2) successive periods of five (5) years, each upon the same terms and conditions which were in effect during the initial term. This Sublease shall be automatically renewed for such renewal periods unless at least sixty (60) days prior to the expiration of the then existing period either party notifies the other party of its intention not to renew.

6. SUBLEASE CONTINGENCY. Landlord agrees that CTC's ability to use the Subleased Premises is contingent upon its suitability for CTC's intended use from both an economic and technical engineering basis, and upon CTC's ability to obtain and maintain all governmental licenses, permits and approvals required of or deemed necessary or appropriate by CTC for its use of the Subleased Premises, including applications for zoning variances, zoning ordinances, amendments, special use permits, and building permits (collectively referred to as "Governmental Approvals") by March 31, 1996; provided that CTC shall have the right, without obligation, to appeal any denial by a governmental agency and the contingency date for obtaining Governmental Approvals shall be extended until such time as a final decision is rendered and is not the subject of any further appeal made or defended by CTC. Landlord agrees to make reasonable efforts to cooperate with CTC for Governmental Approvals. Landlord specifically authorizes CTC to prepare, execute and file all necessary or appropriate applications to obtain Governmental Approvals for its permitted uses under this Sublease, at CTC's cost and expense.

If this contingency is not satisfied or expressly waived by CTC in writing, then CTC shall have the right, without obligation, to terminate this Sublease and immediately render it null and void from and after the date of termination.



antenna facility operators as to their proposed operations not inconsistent with this Sublease. Further, CTC acknowledges that it has performed adequate testing for interference from any existing and/or currently proposed radio transmission and receiving equipment on the Property, including the proposed communications facility as described on Exhibit 4 attached hereto, and that same does not or would not, if properly installed and operated as described and in accordance with law, interfere with its permitted use. If CTC or other antenna facility operators experience any interference problems caused by the other party, CTC shall reasonably cooperate with that party (or other parties) to resolve such interference and shall not hold Landlord responsible for same. Landlord warrants however that any further antenna facility operator (or anyone else's) lease or other agreement with Landlord shall include this Paragraph and all of such other party's reciprocal obligation to CTC. If there is a subsequent change in any existing equipment or any addition of other equipment on the Property, Landlord agrees to, without cost and expense to CTC, eliminate any interference to CTC's operation caused by Landlord or anyone holding a property interest from or under Landlord in a prompt and timely manner. If such interference cannot be eliminated within a reasonable length of time, but not to exceed thirty (30) days after notice thereof, Landlord shall make best efforts to require the party causing the interference to cease using the equipment which is causing the interference, except for brief tests necessary for the elimination of the interference.

(b) Landlord shall not construct, or allow to be constructed, any structure or other improvement which would obstruct CTC's antennas.

(c) The installation and maintenance of the Radio Cell Site shall not interfere with existing medical equipment or operations within the Property. In the event CTC's installations interfere with medical equipment or operations, CTC shall immediately cease such interference, after notice thereof until it is able to resolve the problem. If the interference cannot be resolved, either party shall be entitled to terminate this Sublease and render it null and void.

8. **INSURANCE/LIABILITY.** (a) CTC shall carry during the term of this Sublease, at its own cost and expense, the following insurance: (i) "All Risk" property insurance which insures the insuring party's property for its full replacement cost; and (ii) comprehensive general liability insurance with a commercial general liability endorsement having a minimum limit of liability of \$1,000,000 for injury or death arising out of one occurrence and \$1,000,000 for damage to property from any one occurrence and excess/umbrella coverage of \$2,000,000.

(b) CTC shall name Landlord as an additional insured under its liability policy and require its insurance company to endeavor to give at least thirty (30) days written notice of termination or cancellation of the policy to Landlord. Such endorsement shall be delivered to Landlord within thirty (30) days from the execution of this Sublease and before the expiration of any term thereof from an insurance company with a minimum policy holder and

in their insurance policy or policies a waiver of subrogation provision whereby any such release does not adversely affect such policies or prejudice any right of the releasor to recover thereunder. Each party's insurance shall include such a provision so long as it is obtainable without extra cost, or if extra cost is charged, so long as the party for whose benefit the clause or endorsement is obtained pays such cost. Each party shall advise the other of the amount of any extra cost charged, and the other party may elect whether to pay same.

9. **CONDITION OF PREMISES.** Upon termination or expiration of this Sublease, CTC shall surrender the Subleased Premises to Landlord in good condition except for (a) reasonable wear and tear and obsolescence, or (b) damage due to the elements or causes beyond CTC's control and without its negligence and (c) both.

10. **WARRANTIES.** (a) Landlord represents and warrants that: (i) Landlord leases the Property (including the Subleased Premises) unencumbered by any liens, restrictions, mortgages, covenants, conditions, easements, leases, agreements of record or not of record, which would adversely affect CTC's use and enjoyment of the Subleased Premises under this Sublease; (ii) Landlord is duly organized/formed, validly existing and in good standing and has all rights, power and authority to make this Sublease and bind itself thereto through the party set forth as signatory of Landlord set forth below; (iii) Landlord has not dealt with, nor is any brokerage commission due to, any broker in connection with this Sublease; and (iv) CTC shall have sole, actual and quiet and peaceful use, enjoyment and possession of the Subleased Premises as defined in Paragraph 2 during the term for its permitted uses.

(b) Landlord represents and warrants that (i) the Property and its uses and operations, the making of this Sublease and Landlord's performance of this Sublease complies (and Landlord is not in receipt of any contrary notice) and will comply with all Laws, and will not violate the provision of any mortgage, lease or other agreement of any kind under which Landlord is a party or is bound or which restricts in any way the disposition or use (including by CTC) of the Property; and (ii) the Property has never been used or allowed to be used by Landlord or, to the best of Landlord's knowledge, any previous owner, to emit (through ground or air), refine, manufacture, generate, produce, store, contain, handle, transfer, process, treat or transport hazardous substances or hazardous wastes, products or pollutants (collectively called "Hazardous Wastes") as defined and regulated under any applicable environmental laws, including the Comprehensive Environmental Response, Compensation, and Liability Act (42 U.S.C., § 9601, et seq.), or any modification or amendment to any such Law. No asbestos, Polychlorinated Biphenyls or other Hazardous Waste or underground storage tanks exist or shall exist on the Property and the Property has never been the subject of any federal or state Hazardous Waste related list, required closure or clean-up of Hazardous Waste.

indemnity specifically includes costs, expenses and fees incurred by CTC in connection with any investigation of Property conditions or clean-up, removal or restoration of the Property related to Hazardous Wastes required by any governmental authority. This indemnification shall survive the expiration or earlier termination of this Sublease.

11. ACCESS TO SUBLEASED PREMISES. CTC agrees that Landlord shall be permitted access to the Subleased Premises (i) during an emergency without prior notice to CTC, so long as CTC is notified as soon thereafter as reasonably practicable; and (ii) otherwise with reasonable prior notice to CTC to make necessary repairs; in all such cases provided that CTC's equipment technology and proprietary interests remain secure and the Radio Cell Site's operation is not adversely affected.

12. MAINTENANCE AND REPAIRS; UTILITIES. (a) CTC shall perform all repairs necessary to keep its Radio Cell Site or other CTC improvements located on or about the Subleased Premises in good and tenantable condition, reasonable wear and tear excepted. Landlord shall maintain and repair the Property and access thereto, other than CTC's Radio Cell Site and other improvements thereon, in good and tenantable condition and repair. No work shall be done in or around the Subleased Premises, by Landlord without prior notification to CTC.

(b) CTC, at its sole expense, shall arrange for its own metered electrical supply from the local utility company and shall pay for all charges for electricity and other utilities consumed by CTC. During the application period for electric service from the local utility company, CTC shall have the right to use temporarily the Landlord's electricity and pay Landlord for the electric consumed by CTC at the current local utility company rate. In the event CTC cannot secure its own metered electrical supply from the local utility company, CTC shall have the right, at its own cost and expense, to submeter from the Landlord on a monthly basis for the electric consumed by CTC. CTC shall pay monthly the current local utility company rate for submetered electric, after the meter is read by the Landlord and billed to CTC.

13. DEFAULT AND RIGHT TO CURE. The following shall be deemed a default by CTC and a breach of this sublease: (a) Non-payment of rent, including any adjustments in rental amount as required hereunder, due hereunder for a period within thirty (30) days after receipt of notice of such failure to pay Landlord; or (b) CTC's failure to perform any other agreement under this Sublease within forty-five (45) days after receipt of such notice from Landlord specifying the failure. No such failure, however, shall be deemed to exist if CTC in fact shall honestly commence to rectify the same within such forty-five (45) day period and provided such efforts shall be prosecuted to completion with reasonable diligence. Delay in rectifying the same shall be excused if due to causes beyond the reasonable control of CTC.

Sublease, and all rights, benefits, liabilities and obligations hereunder, to any person or business entity which is licensed by the FCC to operate a wireless communications business, or is a parent, subsidiary or affiliate of CTC, controls or is controlled by or under common control with CTC, is merged or consolidated with CTC or purchases a majority or controlling interest in the ownership or assets of CTC. CTC may not otherwise assign or sublet this Sublease without Landlord's consent, not to be unreasonably withheld or delayed.

15. **NOTICES.** Unless otherwise provided herein, any notice of demand required or permitted to be given hereunder shall be given in writing by hand delivery, first class certified or registered mail, return receipt requested, or by overnight mail, in a sealed envelope, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notice shall be addressed to the parties at the addresses set forth above (as to CTC, attn: Vice President of Engineering; copy to same address, attn: Legal Department). Either party hereto may change the place for the giving of notice to it by like written notice to the other as provided herein.

16. **SEVERABILITY.** If any term or condition of this Sublease shall be held to be invalid, illegal or unenforceable, the remaining terms and conditions shall be binding upon the parties and shall be enforceable as though said invalid, illegal, or unenforceable provision were not contained herein, provided, however, that if the invalid, illegal or unenforceable provision materially affects this Sublease, the Sublease may be terminated by either party on ten (10) days prior written notice to the other party hereto.

17. **SUBORDINATION/NON-DISTURBANCE.** At Landlord's option, this Sublease shall be subordinate to any mortgage by Landlord which from time to time may encumber all or part of the Property; provided, however, that every mortgagee now existing or hereafter created intending to be superior in right must (a) recognize the validity of this Sublease and be bound (or bind any successor in foreclosure) in the event of a foreclosure of Landlord's interest and (b) not affect or disturb CTC's peaceful and quiet use and enjoyment of the Subleased Premises so long as CTC is not in default of this Sublease. The parties agree to execute, and Landlord agrees (x) to make best efforts to furnish promptly as to any existing mortgagee and (y) shall furnish immediately to CTC as to any future mortgagee of the Property, in properly executed form, a non-disturbance agreement in the form attached hereto as Exhibit 5.

18. **AMENDMENT; WAIVER.** No revision of this Sublease shall be valid unless made in writing and signed by the Vice-President Engineering & Network Operations or higher authority of CTC and an authorized agent of the Landlord. No provision may be waived except in a writing signed by the party waiving the right.

WITNESS/ATTEST:

Landlord: Rego Park Nursing Home, Ltd.,  
a New York corporation

Deborah Ajalla  
[SEAL]

BY: William J. Lee  
Name: William J. Lee  
Title: CEO

WITNESS:

Tenant: Cellular Telephone Company,  
d/b/a AT&T Wireless Services,  
a New York general partnership

Rafaela Aggar  
[SEAL]

BY: Liam Mahoney  
Liam Mahoney Vice President  
Engineering & Network Operations,  
as authorized agent of Cellular  
Systems, Inc. and LIN Cellular  
Corporation, General Partners

THIS AGREEMENT ("Agreement"), dated the 21st day of October, 1995, between REGO PARK NURSING HOME LTD. (hereinafter called "Mortgagee") and Rego Park Nursing Home Ltd., a New York corporation having its principal office at 111-26 Corona Flushing, New York 11368 ("Landlord"), and Cellular Telephone Company, a New York partnership, having an office at 15 East Midland Avenue, Paramus, New Jersey, 07652 (hereinafter called "Tenant").

W I T N E S S E T H :

WHEREAS, Tenant has entered into a certain sublease dated September 31, 1995, (the "Sublease") with Landlord, covering property more fully described in Exhibit 1 attached hereto and made a part hereof (the "Subleased Premises"); and

WHEREAS, Landlord has given to Mortgagee, a mortgage (the "Mortgage") upon property having a street address of 111-26 Corona Avenue, being identified as District 11, Lots 38, 41, and 42 in Block 1972 in the Borough of Queens, Queens County, State of New York ("Property"), a part of which Property contains the Subleased Premises;

WHEREAS, the Mortgage on the property is in the original principal sum of \$2,295,000 (\$2,295,000) Dollars, which Mortgage has been recorded in the appropriate public office in and for Queens County, New York ("Mortgage"); and

WHEREAS, Tenant desires to be assured of continued occupancy of the Subleased Premises under the terms of the sublease and subject to the terms of this Agreement;

NOW, THEREFORE, in consideration of the mutual promises, covenants and agreements herein contained, the receipt and sufficiency of which are hereby acknowledged, the parties hereto, intending to be legally bound hereby, agree as follows:

1. So long as this Agreement shall remain in full force and effect, the Sublease is and shall be subject and subordinate to the lien and effect of the Mortgage insofar as it affects the real property and fixtures of which the Subleased Premises forms a part (but not Tenant's trade fixtures and other personal property), and to all renewals, modifications, consolidations, replacements and extensions thereof, to the full extent of the principal sum secured thereby and interest thereon, with the same force and effect as if the Mortgage had been executed, delivered, and duly recorded among the above-mentioned public records, prior to the execution and delivery of the Sublease.

2. In the event Mortgagee takes possession of the Subleased Premises as mortgagee-in-possession, including but not limited to by deed in lieu of foreclosure or foreclosure of the Mortgage, Mortgagee agrees not to affect or disturb Tenant's right to possession of the Subleased Premises and any of Tenant's other rights under the Sublease in the exercise of Mortgagee's rights so long as Tenant is not then in default, after applicable notice and/or grace periods, under any of the terms, covenants, or conditions of the sublease.

3. In the event that Mortgagee succeeds to the interest of Landlord or other landlord under the Sublease and/or to title to the Subleased Premises, Mortgagee and Tenant hereby agree to be bound to one another under all of the terms, covenants and conditions of the Sublease; accordingly, from and after such event, Mortgagee and Tenant shall have the same remedies against one another for the breach of an agreement contained in the Sublease as Tenant and Landlord had before Mortgagee succeeded to the interest of Landlord; provided, however, that Mortgagee shall not be:

(a) personally liable for any act or omission of any prior landlord (including Landlord); or

4. In the event that anyone else acquires title to or the right to possession of the Subleased Premises upon the foreclosure of the Mortgage, or upon the sale of the Subleased Premises by Mortgagee or its successors or assigns after foreclosure or acquisition of title in lieu thereof or otherwise, Tenant agrees not to seek to terminate the Sublease by reason thereof, but shall remain bound unto the new owner so long as the new owner is bound to Tenant (subject to paragraph 3 above) under all of the terms, covenants and conditions of the Sublease.

5. Mortgagee understands, acknowledges and agrees that notwithstanding anything to the contrary contained in the Mortgage and/or any related financing documents, including, without limitation, any UCC-1 financing statements, Mortgagee shall acquire no interest in any furniture, equipment and/or other property installed by Tenant on the Property. Mortgagee hereby expressly waives any interest which Mortgagee may have or acquire with respect to such furniture, equipment and/or other property of Tenant now, or hereafter, located on or affixed to the Property or any portion thereof and Mortgagee hereby agrees that same do not constitute realty regardless of the manner in which same are attached or affixed to the Property.

6. This Agreement shall be binding upon and shall extend to and benefit the successors and assigns of the parties hereto and to any assignees or subtenants of Tenant which are permitted under the Sublease. The term "Mortgagee", when used in this Agreement shall be deemed to include any person or entity which acquires title to or the right to possession of the Subleased Premises by, through or under Mortgagee and/or the Mortgage, whether directly or indirectly.

IN WITNESS WHEREOF, the undersigned has caused this Agreement to be executed this 31<sup>st</sup> day of October, 1996.

ATTEST OR WITNESS:

LANDLORD: Rego Park Nursing Home Ltd.,  
a New York corporation

Deborah Aquella  
[SEAL]

BY:

Nelson M. Tiden  
Name: Nelson M. Tiden  
Title: CEO

WITNESS:

TENANT: Cellular Telephone Company,  
a New York general partnership

Robin Logan

BY:

Liam Mahoney  
Liam Mahoney Vice President  
Engineering & Network Operations,  
as authorized agent of Cellular  
Systems, Inc. and LCN Cellular  
Corporation, General Partners

ATTEST OR WITNESS:

MORTGAGEE:

[Signature]  
[SEAL]

BY:

HEAR BRAUNTON  
Name: HEAR BRAUNTON  
Title: MORTGAGEE

THIS AMENDMENT TO SUBLEASE AGREEMENT ("Amendment") dated as of the date below, by and between Rego Park Nursing Home, Ltd., a New York corporation, with an office at 111-26 Corona Avenue, Flushing, New York (hereinafter referred to as "Sublessor") and Cellular Telephone Company, d/b/a AT&T Wireless, a New York general partnership, having an office at 15 East Midland Avenue, Paramus, New Jersey 07652 (hereinafter referred to as "Sublessee").

WHEREAS, Sublessor and Sublessee entered into a Sublease Agreement dated October 21, 1995 (the "Sublease");

WHEREAS, the Sublease permitted Sublessee to enter the Subleased Premises to construct, install, operate, maintain, repair, replace, protect and secure its radio fixtures and related equipment, cables, accessories and improvements at 111-26 Corona Avenue, Flushing, New York;

WHEREAS, Sublessee desires to replace existing antennas and/or add upgraded antennas, along with any and all related cables and accessories, and/or to install additional equipment cabinets within the Subleased Premises as shown on Exhibit 1 attached hereto and made a part hereof and to increase the monthly rent payable to Sublessor by Sublessee;

WHEREAS, Sublessor and Sublessee, in their mutual interest, wish to amend the Sublease as set forth below accordingly;

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Sublessor and Sublessee hereby agree as follows:

1. Sublessor consents to Sublessee's replacement of existing antennas with upgraded antennas, along with any and all related cables and accessories, and to the installation of the equipment depicted on Exhibit 1 attached hereto and made a part hereof, provided that Sublessee complies with all applicable laws, rules, statutes and regulations, including but not limited to the *rules and regulations of the Federal Communications Commission and Federal Aviation Administration*.
2. Beginning upon full execution of this Amendment, Paragraph 4 of the Sublease is amended to increase the monthly rent payable to Sublessor by Sublessee to be Two Thousand Eight Hundred and 00/100 Dollars (\$2,800.00) per month, prorated for any partial months.
3. Sublessor authorizes Sublessee, at Sublessee's cost and expense, to prepare, execute and file all necessary or appropriate applications to obtain governmental approvals for



replacement and installation of such equipment.

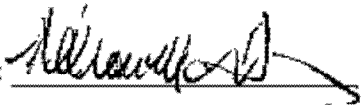
5. In the event of any inconsistencies between the Sublease and this Amendment, the terms of this Amendment shall take precedence.

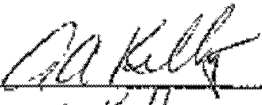
6. Except as expressly set forth in this Amendment, the Sublease otherwise is unmodified, remains in full force and effect and is incorporated and restated herein as if fully set forth at length. Each reference in the Sublease to itself shall be deemed also to refer to this Amendment.

IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute this Amendment.

SUBLESSOR:  
REGO PARK NURSING HOME, LTD.  
a New York corporation

SUBLESSEE:  
CELLULAR TELEPHONE COMPANY  
d/b/a AT&T Wireless

By:   
Name: Nelson M. Tuchman  
Title: CM

By:   
Name: Gail Kelly  
Title: SYSTEM DEVELOPER NGR  
Date: 12/18/01

Witness: Paulette Lombardi

Witness: Kathleen Keene

NON-DISTURBANCE AGREEMENT

Kollel Ner L'Avrohom, Inc., a not-for-profit corporation, ("Owner") is the owner of real property having a street address of 111-26 Corona Avenue in the Borough of Queens, State of New York ("Property"). Owner leases the Property to Rego Park Nursing Home, Ltd. under a certain agreement dated September 1, 1972 and expiring October 31, 2003 ("Agreement"). Owner has reviewed the Lease Agreement between Rego Park Nursing Home, Ltd. ("Landlord") and Cellular Telephone Company d/b/a AT&T Wireless Services ("CTC") dated ~~September 21~~<sup>24</sup>, 1995, ("Lease") to which this Owner's Consent and Non-Disturbance Agreement is attached, and hereby consents to the terms and conditions therein.

In the event the Landlord does not extend the Agreement beyond October 31, 2003 and CTC has renewed the Lease for an additional five (5) year term, Owner hereby agrees to assume all of the responsibilities of the Landlord under the Lease and be bound by all of the terms and conditions of the Lease.

Agreed to and accepted this 24 day of October, 1995

Kollel Ner L'Avrohom, Inc.

By: [Signature]  
Name: ISRAEL BROWNSTEIN  
Title: TRUSTEE

The above signatory warrants to be the representative of the above corporation authorized to bind the corporation to this Owner's Consent and Non Disturbance Agreement.

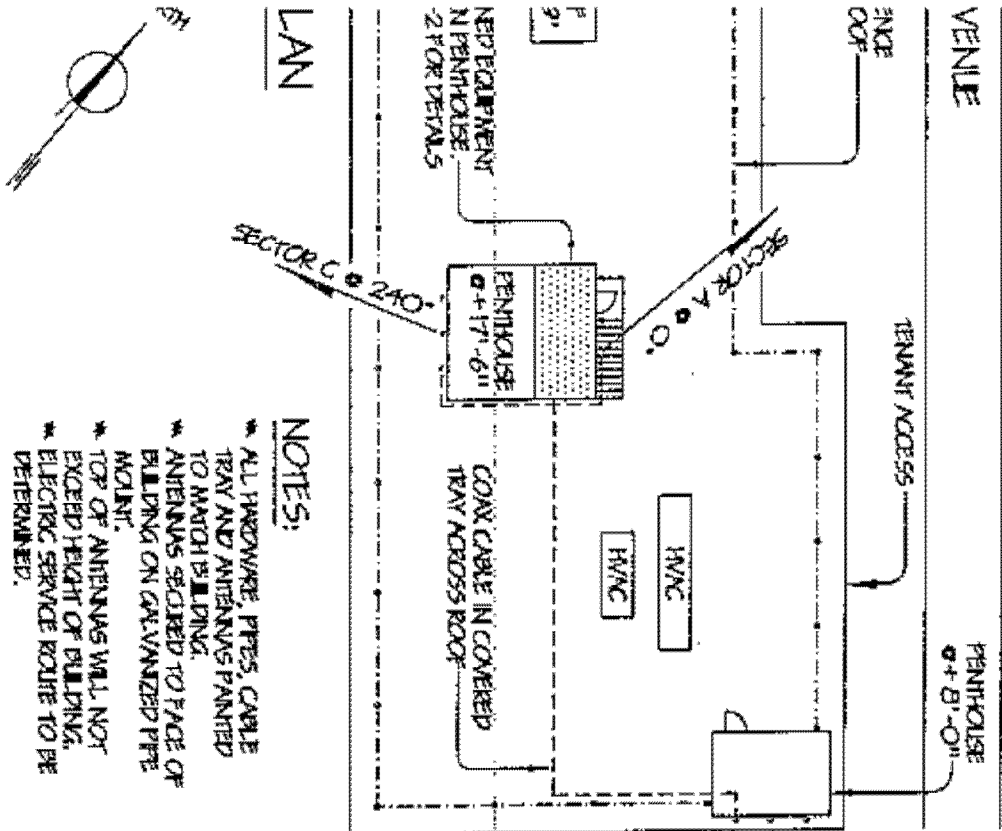
652 MEADOW LAKE  
1-26 CORONA AVENUE, FLUSHING, N.Y.

DATE: AUGUST 8, 1995  
DN BY: L. G.

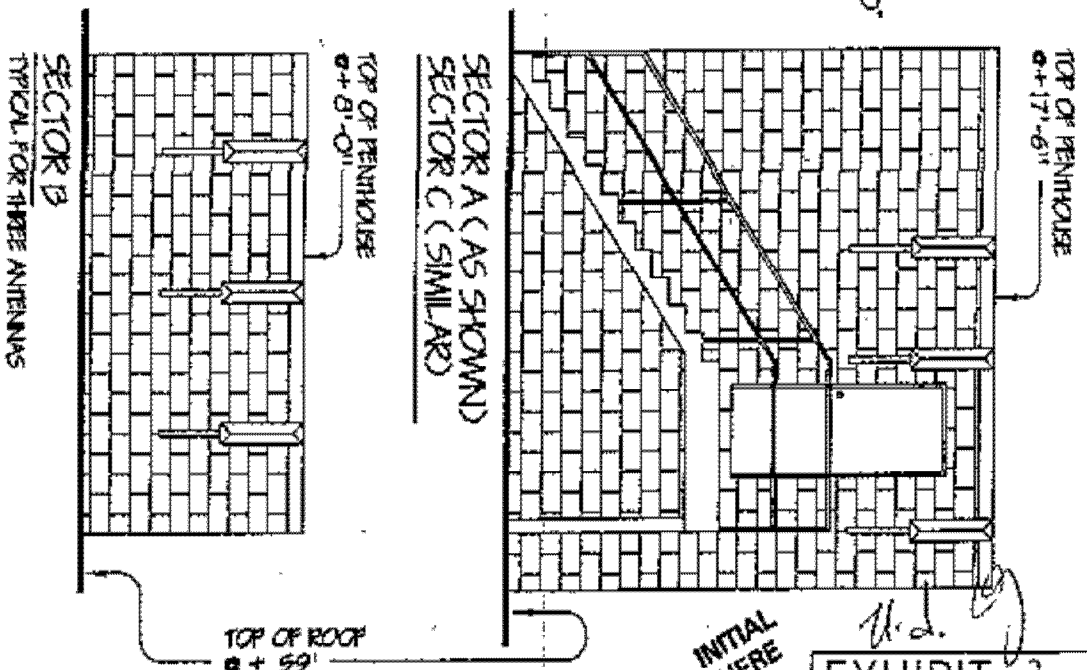
SCALE: NONE  
DWG. NO. SK-1

CELLULARONE®

**PROPOSED UNMANNED WIRELESS COMMUNICATION EQUIPMENT SITE**



- NOTES:**
- \* ALL HARDWARE, PIPES, CABLE TRAY AND ANTENNAS PAINTED TO MATCH BUILDING.
  - \* ANTENNAS SECURED TO FACE OF BUILDING ON GALVANIZED PIPE MOUNT.
  - \* TOP OF ANTENNAS WILL NOT EXCEED HEIGHT OF BUILDING. ELECTRIC SERVICE ROUTE TO BE DETERMINED.



YES:

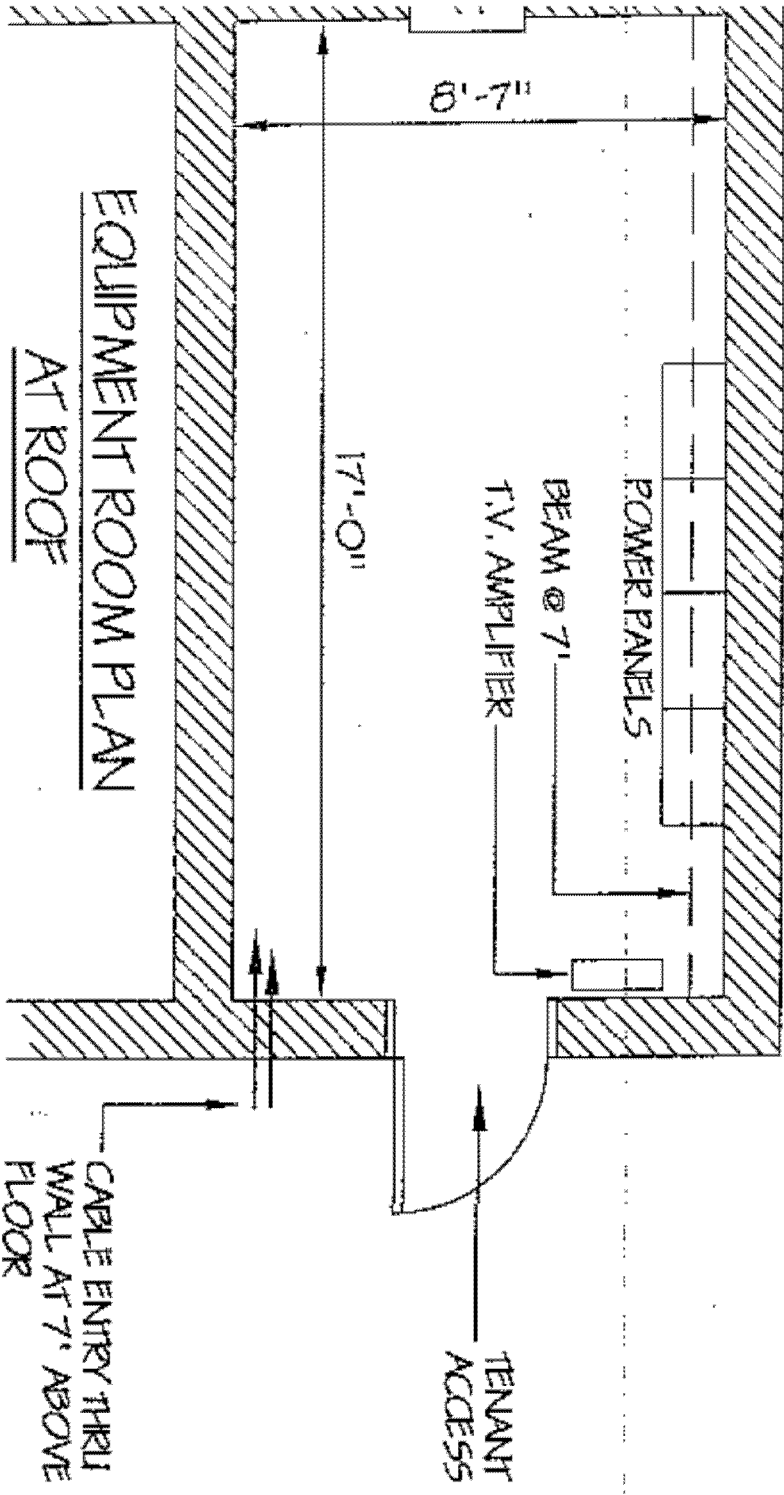
- CEILING HEIGHT AT 7'-7"
- ADD VCT AT FLOOR.
- ADD NEW 3' x 5' H.M. DOOR WITH SIMPLEX LOCK.
- NEW HVAC THROUGH WALL.
- ADD 1" PAINTABLE INSULATION BOARD AT CEILING.
- EXISTING POWER PANELS TO REMAIN.
- EXISTING T.V. AMPLIFIER TO REMAIN.

APPROXIMATE AREA  
OF LEASED SPACE  
119 Sq. Ft.

*[Handwritten Signature]*

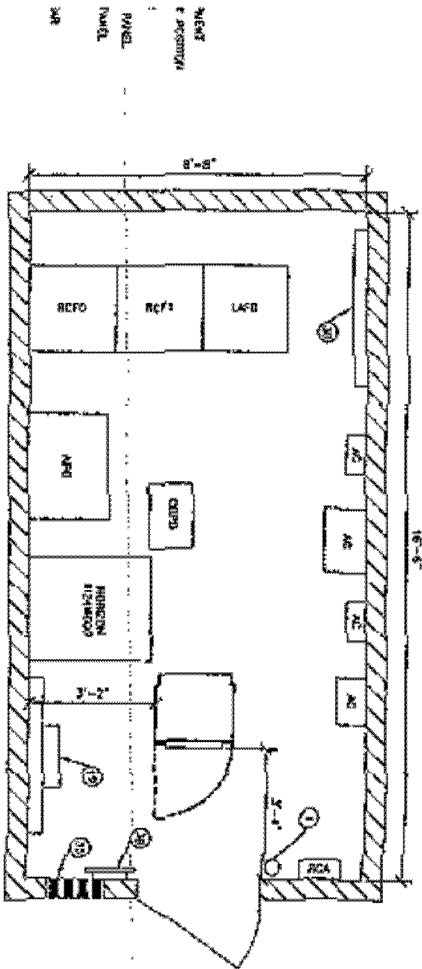
INITIAL  
HERE

EXHIBIT: 1

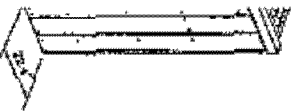


PROPOSED UNMANNED WIRELESS COMMUNICATION EQUIPMENT ROOM

652 MEADOW LAKE	DATE: AUGUST 8, 1995	SCALE: NONE	CELLULARONE®
1-26 CORONA AVENUE, FLUSHING, N.Y.	DN BY: L. G.	DWG. NO. SK-2	



EQUIPMENT ROOM LAYOUT



DETAIL  
CEILING CORNER

A TECH, INC.  
111-26 CONROCK AVE  
MADISON, WISCONSIN

MEADOW LAKE  
SITE NUMBER: 632  
111-26 CONROCK AVE  
MADISON, WISCONSIN 53718

MEADOW LAKE



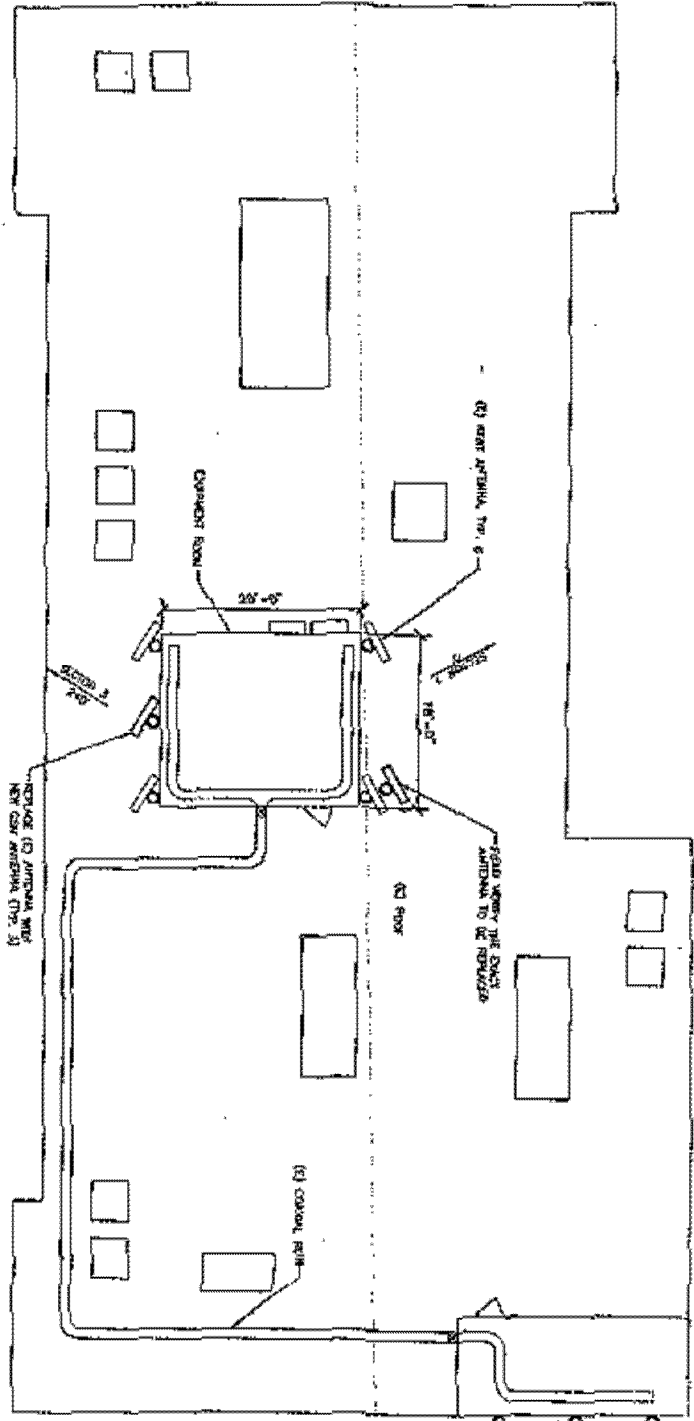
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR CONSTRUCTION	12/1/80	...
2	...	...	...
3	...	...	...
4	...	...	...
5	...	...	...
6	...	...	...
7	...	...	...
8	...	...	...
9	...	...	...
10	...	...	...

MEADOW LAKE  
EQUIPMENT LAYOUT

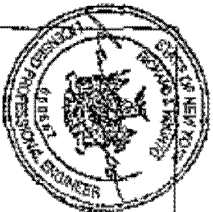


**SPECIAL NOTES:**

1. POWER: Subcontractor to provide & install, 1 gp 30 amp branch, Subcontractor to field route 2 #10 conductors, 1 #10 neutral, and 1 #10 green grounded ground wire in race and from race field to each main junction box. Race location box to 1 ft above junction box. Race location box to 1 ft above junction box.
2. DRAIN: Subcontractor to provide, install & field locate (1/2" dia) 1/2" dia PVC pipe from the junction box to the drain pan. The drain pan shall be installed in the junction box to 1 ft above junction box.
3. INSULATION: Subcontractor shall provide for the units with 2" thick urethane insulation. The insulation shall be installed over the units and shall be sealed to the units. The insulation shall be installed over the units and shall be sealed to the units.
4. CLEARANCE: All cabinets should have a clearance of 18" from the ceiling. All cabinets should have a clearance of 18" from the ceiling. All cabinets should have a clearance of 18" from the ceiling.
5. FIELD IDENTIFICATION: All field wiring shall be marked with color-coded tape. All field wiring shall be marked with color-coded tape. All field wiring shall be marked with color-coded tape.
6. CONDUIT IDENTIFICATION: All conduit shall be marked with color-coded tape. All conduit shall be marked with color-coded tape. All conduit shall be marked with color-coded tape.
7. CABLE LABELING: All cables shall be labeled with color-coded tape. All cables shall be labeled with color-coded tape. All cables shall be labeled with color-coded tape.



SITE PLAN  
NOT TO SCALE



LATTECH, INC.  
 10000 S. 112th St.  
 Omaha, NE 68148  
 402.491.1119

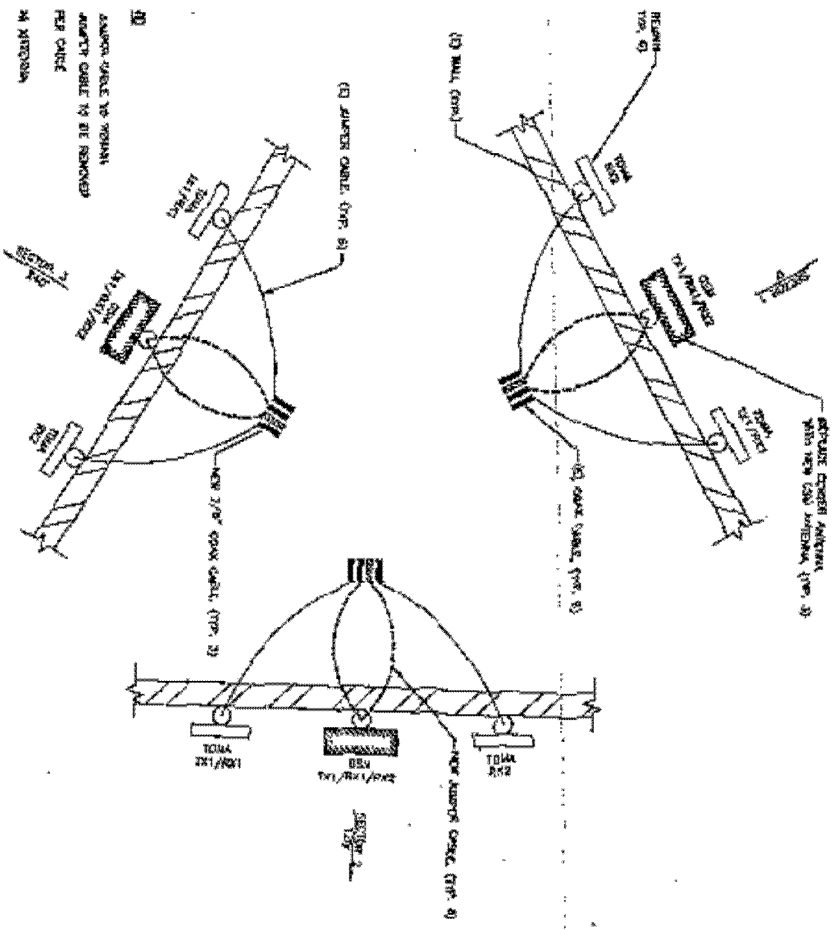
MEADOW LAKE  
 SITE NUMBER: 658  
 11-127 CROWN HIGHLAND  
 CRESTWAY, NY 11585

AT&T  
 WIRELESS SERVICES, INC.  
 15000 W. 15th St.  
 Omaha, NE 68148

NO.	DATE	DESCRIPTION	BY	CHECKED
1	11/11/03	ISSUED FOR CONSTRUCTION	...	...
2	11/11/03	ISSUED FOR CONSTRUCTION	...	...
3	11/11/03	ISSUED FOR CONSTRUCTION	...	...
4	11/11/03	ISSUED FOR CONSTRUCTION	...	...
5	11/11/03	ISSUED FOR CONSTRUCTION	...	...
6	11/11/03	ISSUED FOR CONSTRUCTION	...	...
7	11/11/03	ISSUED FOR CONSTRUCTION	...	...
8	11/11/03	ISSUED FOR CONSTRUCTION	...	...
9	11/11/03	ISSUED FOR CONSTRUCTION	...	...
10	11/11/03	ISSUED FOR CONSTRUCTION	...	...

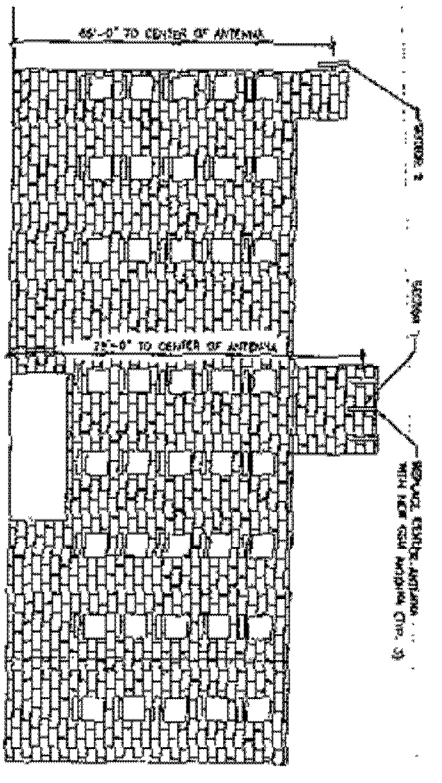
MEADOW LAKE  
 SITE LAYOUT





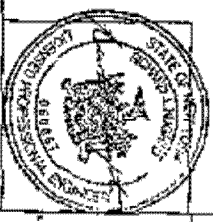
- 1. DOWN CABLE TO REMAIN
- 2. ANTENNA TO REMAIN
- 3. ANTENNA TO REMAIN
- 4. REMOVE ANTENNA

**PLAN OF NEW AND EXISTING ANTENNAS**



NOTE: WITH NEW CASE AS A SINGLE ELEMENT TO EXISTING CASE BURN

**ELEVATION VIEW (SCALING)**



**PA TECH, INC.**  
3800 W. WISCONSIN AVE.  
LANSING, MI 48201

**AMERSON LAKE**  
SITE NUMBER: 032  
111-24 KOSKOV AVENUE  
OSHTON, MI 48380

**AT&T WIRELESS SERVICES, INC.**  
111-24 KOSKOV AVENUE  
OSHTON, MI 48380

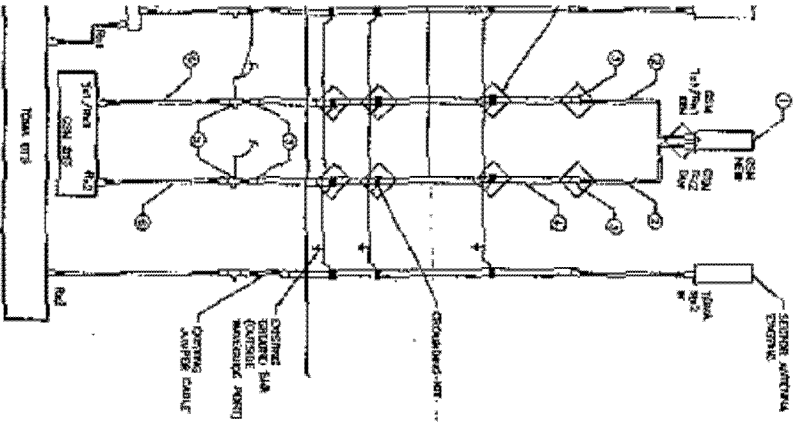
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4	REVISED	10/1/10	[Signature]	[Signature]
5	REVISED	10/1/10	[Signature]	[Signature]
6	REVISED	10/1/10	[Signature]	[Signature]
7	REVISED	10/1/10	[Signature]	[Signature]
8	REVISED	10/1/10	[Signature]	[Signature]
9	REVISED	10/1/10	[Signature]	[Signature]
10	REVISED	10/1/10	[Signature]	[Signature]

**LEADON LAKE**  
ELEVATION AND ANTENNA AZIMUTH



2 & 3. ANTENNA CONCENTRATION -- 6-3/4 VPP

BILL OF MATERIALS



DETAIL 1007  
05

ITEM NO.	DESCRIPTION	QTY	SECTION 1		SECTION 2		SECTION 3		TOTAL QUANTITY	SPECIFIED BY
			UNIT	QTY	UNIT	QTY	UNIT	QTY		
1	ANTENNA	1	EA	1	EA	1	EA	1	1	CONTRACTOR
2	GROUND PLATE	1	SQ FT	100	SQ FT	100	SQ FT	100	1	CONTRACTOR
3	BRIDGE PLATE	1	EA	1	EA	1	EA	1	1	CONTRACTOR
4	CONCRETE MOUNTING POINT	1	EA	1	EA	1	EA	1	1	CONTRACTOR
5	ANTENNA ELEMENT	12	EA	12	EA	12	EA	12	12	CONTRACTOR
6	GROUND PLATE	1	SQ FT	100	SQ FT	100	SQ FT	100	1	CONTRACTOR
7	BRIDGE PLATE	1	EA	1	EA	1	EA	1	1	CONTRACTOR
8	CONCRETE MOUNTING POINT	1	EA	1	EA	1	EA	1	1	CONTRACTOR
9	ANTENNA ELEMENT	12	EA	12	EA	12	EA	12	12	CONTRACTOR
10	GROUND PLATE	1	SQ FT	100	SQ FT	100	SQ FT	100	1	CONTRACTOR
11	BRIDGE PLATE	1	EA	1	EA	1	EA	1	1	CONTRACTOR
12	CONCRETE MOUNTING POINT	1	EA	1	EA	1	EA	1	1	CONTRACTOR

1. CONTRACTOR SHALL VERIFY THE ACTUAL LENGTH OF THE TAIL EXTENSION.
2. THE 6' CLEARANCE ALL AROUND THE ANTENNA SHALL BE MAINTAINED AT ALL TIMES.
3. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
4. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
5. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
6. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
7. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
8. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
9. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
10. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
11. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.
12. THE 6' CLEARANCE SHALL BE MAINTAINED AT ALL TIMES.



PA TECH INC  
3000 ROAD 1000  
FL 33400

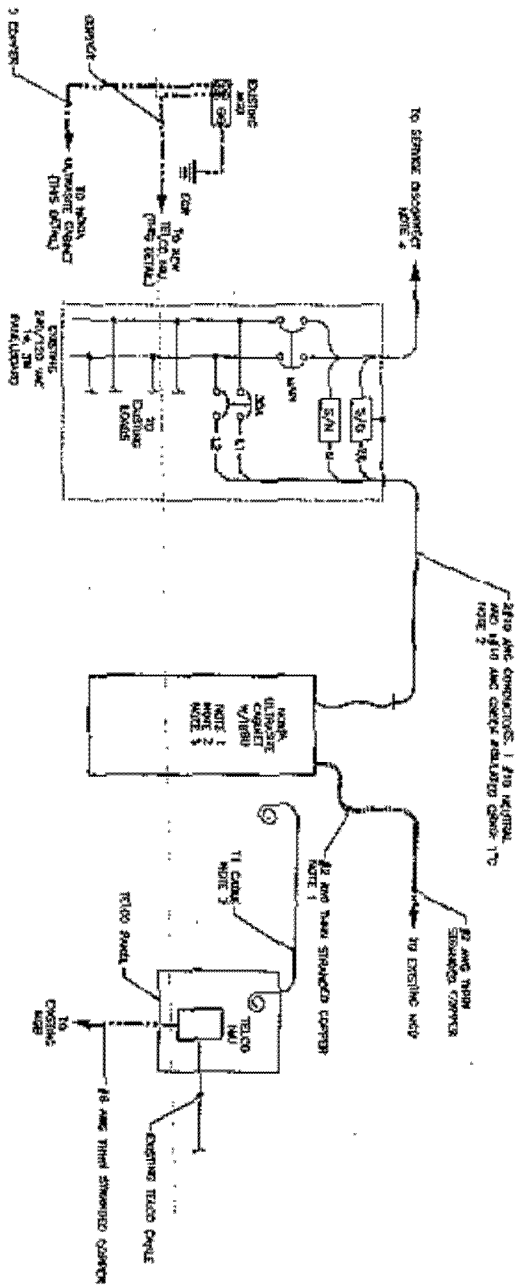
MEADOW LAKE  
STATE WAREHOUSE  
CORPORATION

AT&T WIRELESS SERVICES, INC.

DATE	DESCRIPTION	BY	CHKD BY

MEADOW LAKE  
ANTENNA SCHEDULE AND BOM





250V AND CONNECTIONS 1 FOR INITIAL AND 500V AND CHECK ANALOGUE CHECK TO NOTE 2

100K OHM ULTRASTAB CAPACITOR (NOTE 1)

100K OHM RESISTOR (NOTE 2)

100K OHM RESISTOR (NOTE 2)

100K OHM RESISTOR (NOTE 2)

100K OHM ULTRASTAB CAPACITOR (NOTE 1)

100K OHM RESISTOR (NOTE 2)

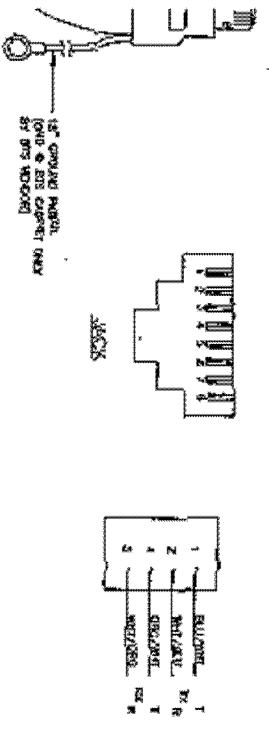
100K OHM ULTRASTAB CAPACITOR (NOTE 1)

100K OHM RESISTOR (NOTE 2)

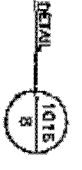
NOTES:

1. ROUTE #2 AND SUSPENSION AT STRAP END TO CONDUIT TO TOP OF MOUNTING CABINET. SEE DRAWING FOR FLOOR MOUNT FOR FUTURE CONNECTION BY WORK. SEE MODEL NO. (D15) FOR DIMENSIONAL INFORMATION.
2. FURNISH AND INSTALL T1 TRANSPORT CASE AS SHOWN IN DRAWING. CABLE TO BE INSTALLED WITH CONNECTIONS ON BOTH ENDS AND ENCL. 1.
3. FURNISH AND INSTALL NEW TUB BUNDLE AS SHOWN. CONNECT AS ACCORDANCE WITH ELECTRICAL WORK NO. (DANDY) WORK EXISTING SERVICE # 10000.

JOINING AND TELCO



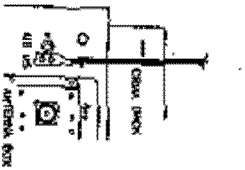
R438C 3 PIN CONNECTOR



NOTE:  
1. THE CASE IS SUITABLE FOR MOUNTING ON THE SIDE OF THE CABINET.  
2. THE CASE IS A SIMPLY-CONNECTOR CASE AND CONNECTION AT BOTH ENDS.

3IN. PIN-OUT

GROUNDING DETAIL



THE VIEW OF CABINET

NOTE: NO/AS DOTS/POINTS PROVIDED IN APPROXIMATE APPROXIMATE ON LATER REVISION.

1. LATER SHEATH, POWER & T-1 CONNECTIONS.
2. GTS INSTALLATIONS BY ACOA.



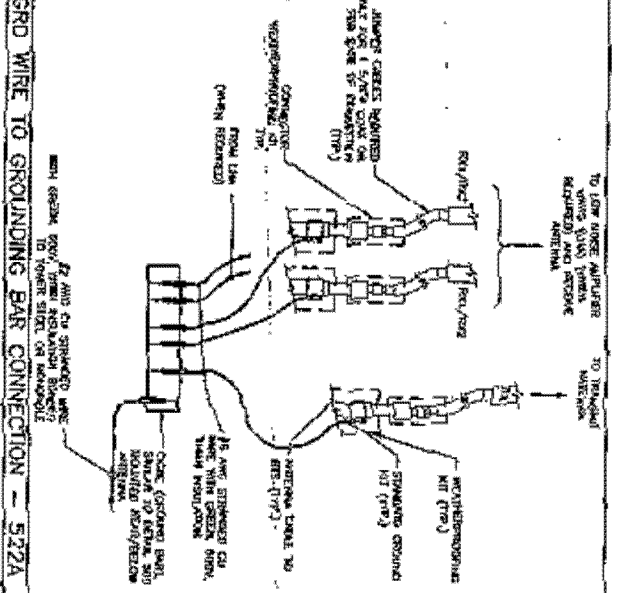
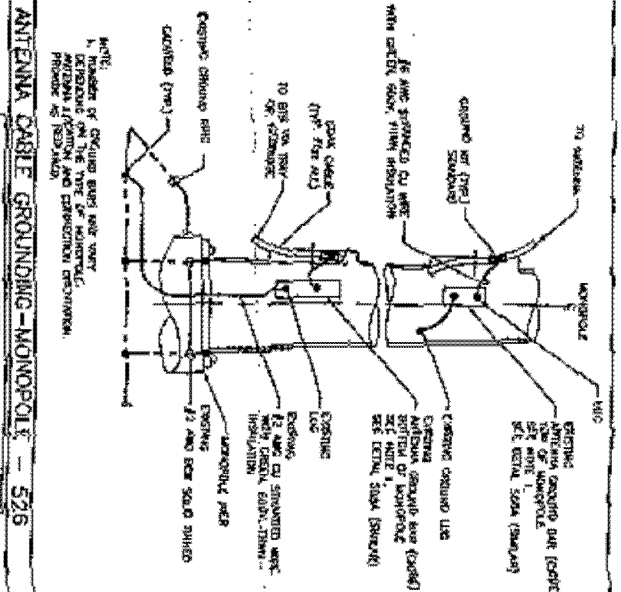
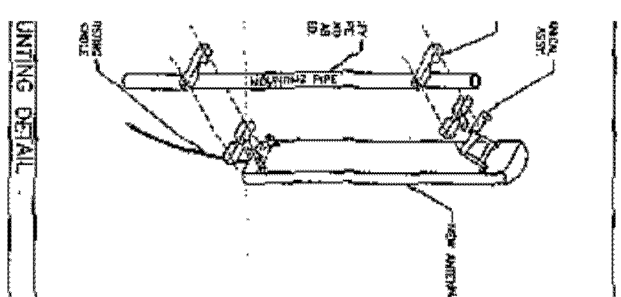
3A TECH, INC.  
111-125 69th Avenue  
Corona, NY 11368

MEADOW LAKE  
SITE NUMBER 632

AT&T  
AT&T WIRELESS SERVICES, INC.

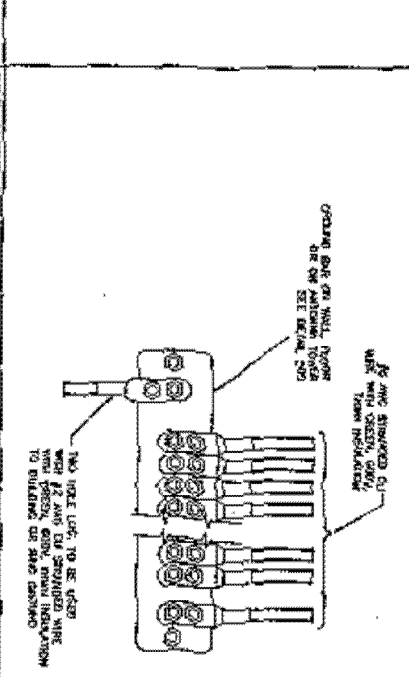
NO.	REV.	DATE	BY	CHKD.	DESCRIPTION
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

MEADOW LAKE  
POWER, GROUNDING AND TELCO

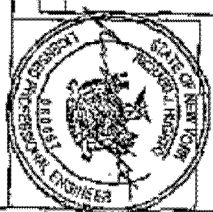


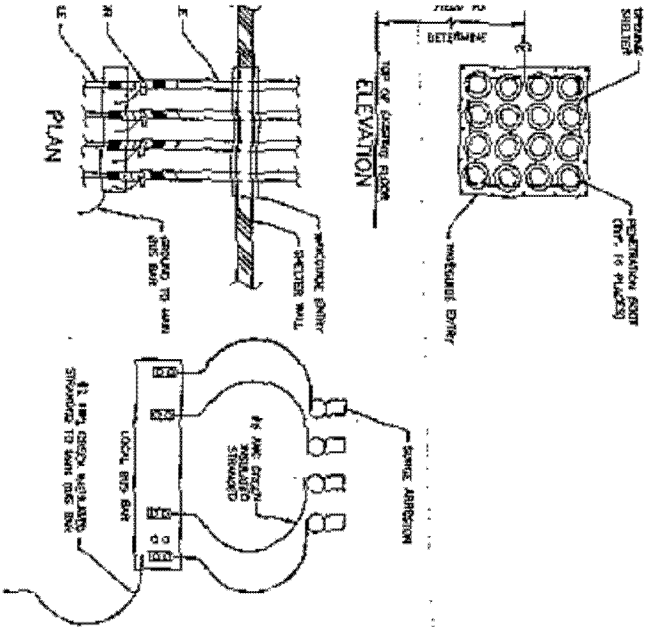
**ELECTRICAL PANEL SCHEDULE**

DESCRIPTION	QUANTITY	UNIT	REMARKS
NEW RECT. 30	1	1" x 1" LENS	
NEW RECT. 30	2	2" x 2" LENS	
NEW RECT. 30	4	4" x 4" LENS	
NEW RECT. 30	5	5" x 5" LENS	
NEW RECT. 30	6	6" x 6" LENS	
NEW RECT. 30	7	7" x 7" LENS	
NEW RECT. 30	8	8" x 8" LENS	
NEW RECT. 30	9	9" x 9" LENS	
NEW RECT. 30	10	10" x 10" LENS	
NEW RECT. 30	11	11" x 11" LENS	
NEW RECT. 30	12	12" x 12" LENS	
NEW RECT. 30	13	13" x 13" LENS	
NEW RECT. 30	14	14" x 14" LENS	
NEW RECT. 30	15	15" x 15" LENS	
NEW RECT. 30	16	16" x 16" LENS	
NEW RECT. 30	17	17" x 17" LENS	
NEW RECT. 30	18	18" x 18" LENS	
NEW RECT. 30	19	19" x 19" LENS	
NEW RECT. 30	20	20" x 20" LENS	
NEW RECT. 30	21	21" x 21" LENS	
NEW RECT. 30	22	22" x 22" LENS	
NEW RECT. 30	23	23" x 23" LENS	
NEW RECT. 30	24	24" x 24" LENS	
NEW RECT. 30	25	25" x 25" LENS	
NEW RECT. 30	26	26" x 26" LENS	
NEW RECT. 30	27	27" x 27" LENS	
NEW RECT. 30	28	28" x 28" LENS	
NEW RECT. 30	29	29" x 29" LENS	
NEW RECT. 30	30	30" x 30" LENS	
NEW RECT. 30	31	31" x 31" LENS	
NEW RECT. 30	32	32" x 32" LENS	
NEW RECT. 30	33	33" x 33" LENS	
NEW RECT. 30	34	34" x 34" LENS	
NEW RECT. 30	35	35" x 35" LENS	
NEW RECT. 30	36	36" x 36" LENS	
NEW RECT. 30	37	37" x 37" LENS	
NEW RECT. 30	38	38" x 38" LENS	
NEW RECT. 30	39	39" x 39" LENS	
NEW RECT. 30	40	40" x 40" LENS	
NEW RECT. 30	41	41" x 41" LENS	
NEW RECT. 30	42	42" x 42" LENS	
NEW RECT. 30	43	43" x 43" LENS	
NEW RECT. 30	44	44" x 44" LENS	
NEW RECT. 30	45	45" x 45" LENS	



NOTE:  
 1. NUMBER OF GROUND BARS NOT VARY  
 2. DEPENDENT ON THE TYPE OF MONOPOLE  
 3. NUMBER OF GROUND BARS NOT VARY  
 4. DEPENDENT ON THE TYPE OF MONOPOLE  
 5. NUMBER OF GROUND BARS NOT VARY  
 6. DEPENDENT ON THE TYPE OF MONOPOLE

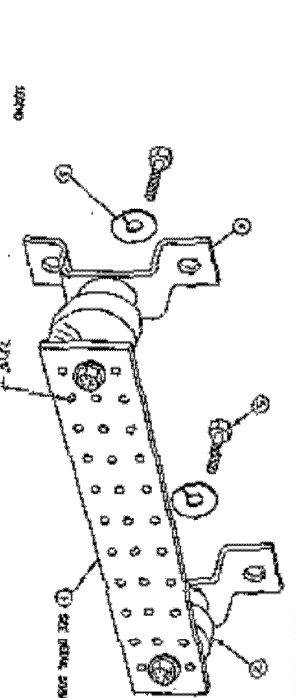




**SURGE ARRESTOR GROUNDING  
INSIDE SHELTER**

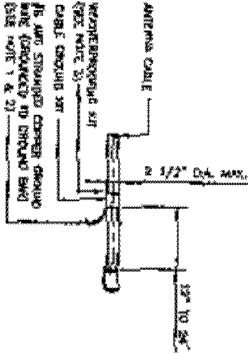
X 100000 ARRESTORS

**RESTOR GROUNDING DETAIL - 527**



**GROUND BAR - 509**

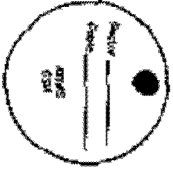
- 1) COPPER GROUND BAR, 1/2" x 1/4" x 120" APPROX. WEIGHTING CO. CAT. NO. 2015-1-A - 1/4" ON EACH END, THREE SQUARE INCH SPACES TO WHICH MOUNTS SHOULD BE CORRESPONDING
- 2) MOUNTING MOUNTING MOUNTING CO. CAT. NO. 206-1-A
- 3) 5/16" LOCKWASHERS, MOUNTING MOUNTING CO. CAT. NO. 2015-1-A
- 4) 3/16" NUTS, MOUNTING MOUNTING MOUNTING CO. CAT. NO. 2015-1-A
- 5) 3/16" x 1/2" 1/2" 1/2" 1/2" APPROX. WEIGHTING CO. CAT. NO. 2015-1-A



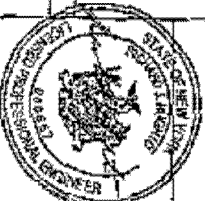
**CONNECTION OF CABLE GROUND KIT  
TO ANTENNA CABLE**

- NOTE: 1. DO NOT INSTALL CABLE GROUND KIT AT A POINT AND ALWAYS EXISTENT DOWN TO GROUND BAR.
2. Dimensions of shell of ANT and PART NUMBER are supplied or recommended by CABLE MANUFACTURER.
3. MOUNTING POINTS OF SHELL AND PART NUMBER AS SHOWN ON RECOMMENDATION OF CABLE MANUFACTURER.

**GROUNDING KIT - 513A**



**GSM LINE TAG**



<p>TRIA TECH, INC. 1000 W. STATE ST. EL PASO, TX 79901</p>	<p>MEADOW LAKE SITE MANAGER, INC. 111-75 TERRY BLVD. CORONA, NC 27605</p>	<p>AT&amp;T WIRELESS SERVICES, INC. 1500 W. STATE ST. EL PASO, TX 79901</p>	<p>MEADOW LAKE 513A/527/509/513A DETAILS</p>
--	---	---	--

Cell Site No. NYNYNY0652  
Cell Site Name: Meadow Lake  
Fixed Asset No. 10075049  
Market: East/North  
Address: 111-26 Corona Blvd, Flushing, NY

10075049  
J mckinley @  
blackdotwireless.com

**SECOND AMENDMENT TO SUBLEASE AGREEMENT**

THIS SECOND AMENDMENT TO SUBLEASE AGREEMENT ("Amendment"), dated as of the latter of the signature dates below, is by and between Cell Tower Lease Acquisition, LLC, a Delaware Limited Liability Company, having a mailing address of 92 Thomas Johnson Drive, Suite #130, Frederick, Maryland 21702, as successor in interest to Rego Park Nursing Home, Ltd. (hereinafter referred to as "Landlord") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 6100 Atlantic Boulevard, Norcross, Georgia 30071, as successor in interest to Cellular Telephone Company (hereinafter referred to as "Tenant").

WHEREAS, Landlord and Tenant entered into a Sublease Agreement dated October 31, 1995, and amended the Sublease Agreement by Amendment to Sublease Agreement dated December 18, 2001 (collectively the "Sublease").

WHEREAS, Tenant desires to replace existing antennas and/or add upgraded antennas, along with any and all related cables and accessories, and/or to install additional equipment cabinets within the Subleased Premises, as shown in Exhibit 1 attached hereto and made a part hereof.

WHEREAS, Landlord and Tenant desire to amend the Agreement to modify the notice section thereof; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to permit Tenant to add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services; and

WHEREAS, Landlord and Tenant, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Landlord and Tenant agree as follows:

1. Landlord consents to Tenant's replacement of existing antennas with upgraded antennas along with any and all related cables and accessories, and to the installations of the equipment depicted on Exhibit 1 attached hereto and made a part hereof, provided that the Tenant complies with all applicable laws, rules, statutes, and regulations, including but not limited to the rules and regulations of the Federal Communications Commission and Federal Aviation Administration.

2. Landlord authorizes Tenant, at Tenant's sole cost and expense, to prepare, execute and file all necessary or appropriate applications to obtain governmental approvals for the replacement and installation of such equipment. Landlord agrees to cooperate with Tenant to secure such government approvals at no cost to Landlord.

3. Tenant acknowledges and agrees that Landlord owns an easement interest in the Premises pursuant to the Easement And Assignment of Easement Agreement between Landlord and the fee owner of the Property, Rego Park Nursing Home, Ltd., dated as of March 1, 2005 and March 15, 2005 (the "Easement") and recorded in the public records of the County in which the Premises are located.

4. **Notices.** Section 15\_ of the Sublease Agreement is hereby deleted in its entirety and replaced with the following:

**NOTICES.** All notices, requests, demands and communications hereunder will be given by first class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid, to be effective when properly sent and received, refused or returned undelivered. Notices will be addressed to the parties as follows. As to Tenant, c/o Cingular Wireless LLC, Attn: Network Real Estate Administration Re: Cell Site # NYNYNY0652, Cell Site Name Meadow Lake, 6100 Atlantic Boulevard, Norcross, GA 30071, with a copy to Cingular Wireless LLC, Attn: Legal Department 15 E Midland Avenue, Paramus, NJ 07652 Re: Cell Site # NYNYNY0652, Cell Site Name Meadow Lake; and as to Landlord, Cell Tower Lease Acquisition LLC, C/O Unison Site Management, Attn: Lease/Contract Administration, 92 Thomas Johnson Drive, Suite #130, Frederick, Maryland 21702 WITH A COPY TO: Cell Tower Lease Acquisition, LLC, C/O Unison Site Management, Attn: CEO, 330 Madison Avenue, 15<sup>th</sup> Floor, New York, NY 10017. Either party hereto may change the place for the giving of notice to it by thirty (30) days prior written notice to the other as provided herein."

5. **Government Mandates / Emergency 911 Service.** In the future, without the payment of additional rent and at a location mutually acceptable to Landlord and Tenant, Landlord agrees that Tenant may add, modify and/or replace equipment in order to be in compliance with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services.

6. **Memorandum of Lease.** Either party will, at any time upon fifteen (15) days prior written notice from the other, execute, acknowledge and deliver to the other a recordable Memorandum of Lease substantially in the form of the Attachment 1. Either party may record this memorandum at any time, in its absolute discretion.

7. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Agreement and this Amendment, the terms of this Amendment shall control. Except as expressly set forth in this Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Amendment.

8. **Capitalized Terms.** All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

**[SIGNATURE PAGES TO FOLLOW]**



IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this Amendment on the dates set forth below.

LANDLORD:

Cell Tower Lease Acquisition, LLC  
a Delaware limited liability company

By: 

Name: James R. Holmes

Title: Vice President/Secretary

Date: September 15, 2006

TENANT:

New Cingular Wireless PCS, LLC,  
a Delaware limited liability company

By: 

Name: James R. Hormann

Title: Director Implementation n4/n5

Date: 10/2/06

LANDLORD ACKNOWLEDGEMENT

CORPORATE ACKNOWLEDGEMENT

STATE OF NEW YORK )  
 )ss:  
COUNTY OF NEW YORK )

I CERTIFY that on September 15, 2006, James R. Holmes personally came before me and acknowledged under oath that he or she:

- (a) is the Vice President/Secretary of Cell Tower Lease Acquisition, LLC, the corporation named in the attached instrument,
- (b) was authorized to execute this instrument on behalf of the corporation and
- (c) executed the instrument as the act of the corporation.

Shannon M. Brennan  
Notary Public, State of New York  
No. 01BR6146659  
Qualified in Orange County  
Commission Expires May 22, 2010

Shannon M. Brennan  
Notary Public  
My Commission Expires: \_\_\_\_\_

TENANT ACKNOWLEDGEMENT

CORPORATE ACKNOWLEDGEMENT

STATE OF New Jersey )  
 )  
COUNTY OF Bergen )

I CERTIFY that on October 2, 2006,  
James R. Hermann [name of representative] personally came before me and  
acknowledged under oath that he or she:

- (a) is the Dir. Implementation <sup>44105</sup> [title] of Cingular Wireless  
[name of corporation], the corporation named in the attached instrument,
- (b) was authorized to execute this instrument on behalf of the corporation and
- (c) executed the instrument as the act of the corporation.

CONSTANCE A LAMBERES  
Notary Public  
State of New Jersey  
My Commission Expires Jan 4, 2010

Constance A. Lamberes  
Notary Public  
My Commission Expires: 1/4/10

CONSTANCE A LAMBERES  
Notary Public  
State of New Jersey  
My Commission Expires Jan 4, 2010

NOTARY PUBLIC  
STATE OF NEW YORK  
COMM. EXPIRES JAN 4 2010

COMM. EXPIRES JAN 4 2010  
STATE OF NEW YORK  
NOTARY PUBLIC  
CONSTANCE A LAMBERS

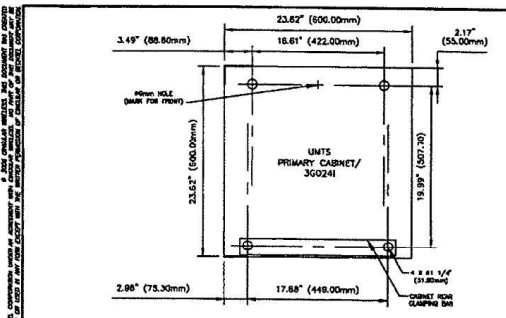
COMM. EXPIRES JAN 4 2010  
STATE OF NEW YORK  
NOTARY PUBLIC  
CONSTANCE A LAMBERS

## EXHIBIT 1

**See attached exhibits comprised of 3 pages, last revision date 06/09/06, prepared by Lulay & Illescas Engineers, P.C.**

**Notes:**

1. This Exhibit may be replaced by a land survey and/or construction drawings of the Premises once it is received by Tenant upon notice to and consent of Landlord..
2. Any setback of the Premises from the Property's boundaries shall be the distance required by the applicable governmental authorities.
3. Width of access road shall be the width required by the applicable governmental authorities, including police and fire departments.



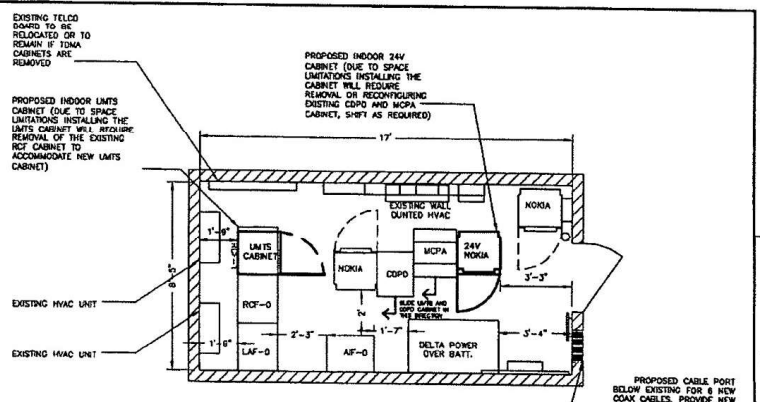
**MOUNTING OPTIONS** - THE UNITS MICROCELL CABINETS CAN BE MOUNTED ON THE FOLLOWING:  
 \* CONCRETE OR FINISHED FLOOR  
 \* MOUNTING PLATES ARE SHIPPED WITH THE MICROCELL CABINET AND SERVE AS DRILLING TEMPLATES AND LAYOUT PLANS. THE MOUNTING PLATE IS PLACED UNDER THE CABINET DURING INSTALLATION.

**ANCHORING SPECIFICATIONS** - THE FOLLOWING TABLE PROVIDES ANCHORING SPECIFICATIONS FOR SEISMIC ZONE D TO 2 FOR THE UNITS MICROCELL CABINET.

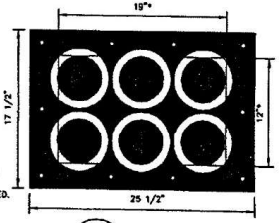
CABINET	SEISMIC ZONE(S)	ANCHOR TYPE	NUMBER OF ANCHOR HOLES	HOLE SIZE	HOLE DEPTH
UNITS Primary cabinet/30241	D, 1, 2	1/2" DRIP H	4	3/8" DIA	4" (DRILL)

NOTE: ABOVE SPECIFICATIONS ARE BASED UPON LUCENT DOCUMENT NO. 401-302-4140001, ISSUE 3 DRAFT 7 DATED AUGUST 2002.

DETAIL 201 NTS NYC



**2 EQUIPMENT PLAN**  
 SCALE: 3/16"=1'-0"



**4 CABLE PORT**  
 A01

**TECHNICAL POLICY AND PROCEDURE NOTICE #5/98**

- THE ANTENNAS DO NOT EXTEND HIGHER THAN SIX FEET ABOVE THE HEIGHT OF THE EXISTING BUILDING TO WHICH THEY ARE ATTACHED.
- THE ANTENNAS DO NOT EXCEED 8.45 SQ. FT.
- SQUARE FOOTAGE OF ALL EXISTING COMMUNICATIONS CABINETS(S) = ± 300 SQ. FT. AND THE EQUIPMENT = 0 SQ. FT. SQUARE FOOTAGE OF THE ENTIRE BUILDING = 65,000 SQ. FT.
- THE PROPOSED WORK WILL HAVE NO EFFECT ON STRUCTURAL STABILITY.
- NO CHANGE IN USE, DENSITY OR OCCUPANCY.
- EXISTING TELECOMMUNICATION ROOM IS ONE HOUR FIRE RATED.

**NEW YORK CITY CONTROLLED INSPECTION ITEMS**

INSPECTION	CODE SECTION
1. DI/INSTALLER VOWT. CERT.	27-779
2. FIRE STOPPING	27-345
3. WELDING	27-816
4. HIGH STRENGTH BOLTS	TABLE 10-2
5. FINAL INSPECTION	DIRECTIVE 14

DIMENSIONS WITH AN ASTERISK (\*) INDICATE SIZE OF OPENING REQUIRED. MICRODEFLECT BSS3 SIGNAL CABLE ENTRY DETAIL (2 PLATES REQ'D)

**LULW & ILLICIA ENGINEERS, P.C.**  
 ENGINEERS - ARCHITECTS  
 REGISTERED PROFESSIONAL ENGINEERS  
 8072  
 PARSONS NEW YORK OFFICE  
 TEL: (212) 485-2200  
 FAX: (212) 485-2200

**MEADOW LAKE**  
 SITE NO: NNYNY0652  
 111-28 ORCHARD BLVD.  
 FLUSHING, NY

**Cingular WIRELESS**  
 CINGULAR WIRELESS  
 15 EAST MEADOW AVE.  
 PARAMOUNT, NJ 07652



CINGULAR WIRELESS

**EQUIPMENT PLAN & NOTES**

NO.	DATE	REVISIONS	BY	CHK	APP'D
0	06/09/06	ISSUED FOR CONSTRUCTION (C10)	CAD	MD	

SCALE: AS SHOWN DESIGNED DRAWN

JOB NO.	DRAWING NUMBER	REV.
24782-431	NYNYNY0652-A01	0

6

5

4

3

2

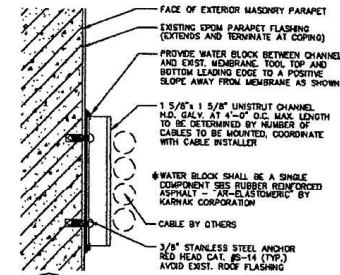
1

LUCENT UMS FLEXENT MACROCELL INDOOR DIMENSIONS	
CABINET	HEIGHT x WIDTH x DEPTH
INDOOR MACROCELL	74.2" x 33.6" x 33.6" (1895mm x 853mm x 853mm)

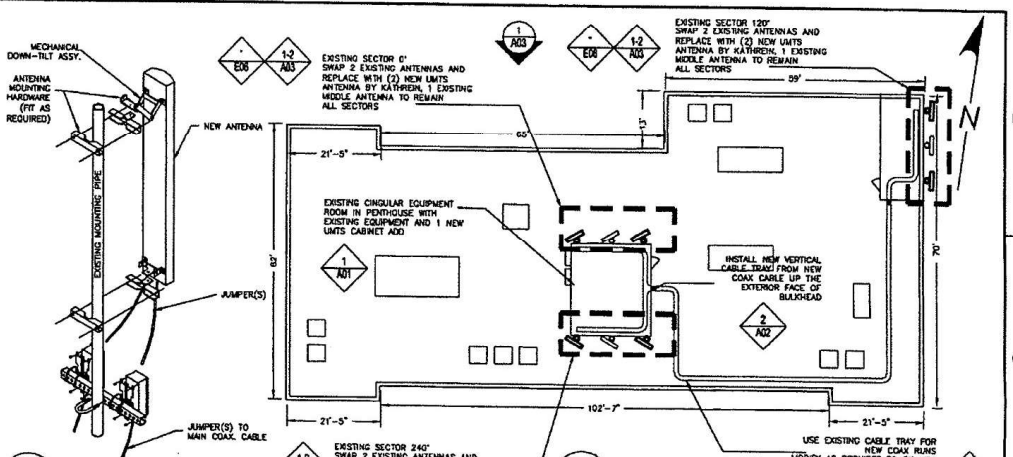
LUCENT UMS FLEXENT MACROCELL INDOOR WEIGHT		
CABINET	CONFIGURATION	APPROX. MAX. WEIGHT
3-SECTOR, 1-CARRIER (400)	862 lbs. (392 kg)	825 lbs. (375 kg)
3-SECTOR, 2-CARRIER (400)	737 lbs. (334 kg)	
3-SECTOR, 3-CARRIER (400)	829 lbs. (376 kg)	
3-SECTOR, 4-CARRIER (400)	823 lbs. (373 kg)	

LUCENT UMS FLEXENT MACROCELL INDOOR MINIMUM CLEARANCES	
DIRECTION	MINIMUM CLEARANCE
CABINET REAR AND WALL	0" (0mm)
CABINET SIDE/LEFT SIDE AND WALL	0" (0mm)
CABINET TOP TO CABLE TRAY	2" (50mm)
IN FRONT OF THE CABINET	36" (914mm)
CABINET TOP TO CEILING (RECOMMENDED)	13.5" (343mm)

NOTE: ABOVE SPECIFICATIONS ARE BASED UPON LUCENT MODEL B SPECIFICATIONS UNLESS INDICATED OTHERWISE. A GOOD 11 AWG COPPER IS PROVIDED BY STANDARD MANUFACTURER (CUSTOMER TECHNICAL APPROVAL).

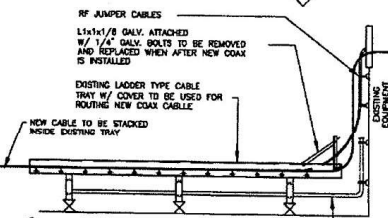


**2 CABLE MOUNTING DETAIL**  
SCALE: N.T.S.

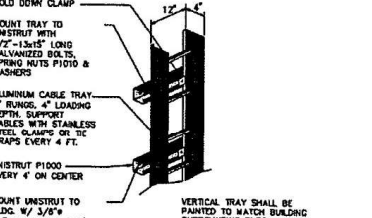


**1 ROOF PLAN**  
SCALE: 1"=20'

**3 ANTENNA MOUNTING DETAIL**  
SCALE: N.T.S.



**4 CABLE ROUTING DETAIL**  
SCALE: N.T.S.



**5 CABLE TRAY DETAIL**  
SCALE: N.T.S.

**LELAN & ALLCOCK ENGINEERS, P.C.**  
ENGINEERS - DEVELOPERS  
BY GEORGE CHEN, P.E.  
RAHOLLA, NEW JERSEY 07033  
TEL: 972-443-2222  
FAX: 972-443-2200

06029  
**MEADOW LAKE**  
SITE NO: NNYNY0652  
111-26 CORONA BLVD.  
FLUSHING, NY

**cingular**  
WIRELESS  
CINGULAR WIRELESS  
18 EAST MIDLAND AVE.  
PARAMAR, NJ 07652

DATE	REVISIONS	BY	CHK	APPV
SCALE: AS SHOWN	DESIGNED	DRAWN		

**CINGULAR WIRELESS**  
ROOF PLAN & MISC. DETAILS  
JOB NO. 24782-431  
DRAWING NUMBER NNYNY0652-A02  
REV 0

**THIRD AMENDMENT TO SUBLEASE AGREEMENT**

This Third Amendment (the "Third Amendment") to that certain Sublease Agreement dated October 31, 1995 by and between Rego Park Nursing Home LTD. and Cellular Telephone Company (the "Sublease"), as amended by that certain Amendment to Sublease Agreement dated December 18, 2001 (the "First Amendment"), as amended by that certain Second Amendment to Sublease Agreement dated October 2, 2006 (the "Second Amendment") (collectively, the "Agreement") is made and entered into as of the latter signature date hereof, by and between Cell Tower Lease Acquisition LLC, a Delaware limited liability company, successor in interest to the Agreement (the "Landlord") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, successor to the Agreement (the "Tenant") (collectively, the "Parties").

**RECITALS**

WHEREAS, Landlord holds an easement at certain Property located at 111-26 Corona Boulevard, Flushing, NY 11368 more commonly known to Landlord as the Rego Park (the "Property"); and

WHEREAS, Landlord and Tenant entered into the Agreement for the use of portions of the roof at the Property; and

WHEREAS, Landlord and Tenant desire to amend the Agreement to extend the term of the Agreement;

WHEREAS, Tenant desires to modify its equipment at the Tower Facility ("Modified Equipment"); and

WHEREAS, the Parties agree that as consideration for Tenant's Modified Equipment, the current Rent payable under the Agreement shall be increased as set forth herein.

NOW THEREFORE, in consideration of the foregoing promises and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties hereto agree as follows:

- 1) Landlord and Tenant agree and acknowledge that effective April 3, 2016, the Agreement will automatically renew for two (2) additional five (5) year terms ("Renewal Options"), unless Tenant notifies Landlord in writing of Tenant's intention not to renew the Agreement at one hundred twenty (120) days prior to the expiration of the then current term.
- 2) Landlord and Tenant agree and acknowledge that Tenant shall modify its equipment for a final installed configuration pursuant to Exhibit 6-3.

- 3) Landlord and Tenant agree and acknowledge that as of the date this Third Amendment is fully executed, Tenant's equipment information set forth in the Agreement shall hereby be deleted in its entirety and shall be replaced with Exhibit 6-3 attached hereto and incorporated by this reference. In the event of inconsistency or discrepancy between the Exhibit 6-3 and Tenant's equipment information set forth in the Agreement, the Exhibit 6-3 shall control.
- 4) Effective upon the earlier to occur of: i) commencement of installation of the Modified Equipment; or ii) July 1, 2014 ("Commencement Date"), the Rent shall be increased by One Hundred Fifty and No/100 Dollars (\$150.00) per month ("Increased Fee"). The Increased Fee for any fractional month at the beginning or end of the period shall be appropriately prorated.
- 5) Landlord and Tenant agree and acknowledge that Landlord's Notice Address shall be amended as follows:

Cell Tower Lease Acquisition LLC  
10 Presidential Way  
Woburn, MA 01801  
Attention: Contracts Manager  
Phone: 781-926-4500  
Fax: 781-926-4721

With a copy to:

American Tower Corporation  
116 Huntington Avenue, 11th Floor  
Boston, MA 02116  
Attn: General Counsel

- 6) Landlord and Tenant agree and acknowledge that Landlord's Notice Address shall be amended as follows:

If to Tenant: New Cingular Wireless PCS, LLC  
Attn: Network Real Estate Administration  
Re: Cell Site #:NYYNY0652; Cell Site Name: Meadow  
Lake (NY)  
FA No: 10075049  
Suite 13-F West Tower  
575 Morosgo Drive  
Atlanta, GA 30324

With a copy to: New Cingular Wireless PCS, LLC  
Attn: Legal Department  
Re: Cell Site #:NYYNY0652; Cell Site Name: Meadow  
Lake (NY)  
FA No: 10075049



Manager Site Name/Number: Rego Park/ NY-6024  
Manager Contract Number: 19289  
Tenant Site Name/FA Number: Meadow Lake / 10075049

208 S. Akard Street  
Dallas, TX 75202-4206

- 7) Capitalized terms contained herein, unless otherwise defined, are intended to have the same meaning and effect as that set forth in the Agreement.
- 8) All other terms and provisions of the Agreement remain in full force and effect.

[SIGNATURES APPEAR ON THE NEXT PAGE]


[REMAINDER OF PAGE LEFT BLANK INTENTIONALLY]


Manager Site Name/Number: Rego Park/ NY-6024  
Manager Contract Number: 19289  
Tenant Site Name/FA Number: Meadow Lake / 10075049

**IN WITNESS WHEREOF**, the Parties hereto have set their hands and seals to this Third Amendment to that certain Sublease Agreement as of the day and year first written below:

**LANDLORD:**  
Cell Tower Lease Acquisition LLC,  
a Delaware limited liability company

**TENANT:**  
New Cingular Wireless PCS, LLC, a  
Delaware limited liability company

By:   
Name: Lisa Aliperta  
Title: Vice President, Finance  
Date: 6/23/14

By:   
Name: Gregg E. Bailey  
Title: Sr. Real Estate + Construction Manager  
Date: 6/12/14

Manager Site Name/Number: Rego Park/ NY-6024  
Manager Contract Number: 19289  
Tenant Site Name/FA Number: Meadow Lake / 10075049

**EXHIBIT 1-3**

*See attached Construction Drawings*

**PROJECT DESCRIPTION**

MODIFICATION TO EXISTING TELECOM FACILITY COMPRISING OF EQUIPMENT AND ASSOCIATED CABLES.

**PROJECT INFORMATION**

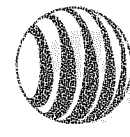
SITE ADDRESS: 111-28 CORONA AVENUE  
FLUSHING, NY 11358  
PROPERTY OWNER: TUCUMHAN ASSOCIATES II, LLC  
111-28 CORONA AVENUE  
FLUSHING, NY 11358  
APPLICANT ADDRESS: NEW ENCLASHA WIRELESS P/S, LLC ("NEW")  
340 MT. REMBLE AVENUE  
MORRISTOWN, NJ 07960

JURISDICTION: BLOCK 96, LOT 78  
PROPERTY TAX ID: ZONE 96, MAP 108  
ZONING DISTRICT: N 40' 44" 24.25' (N40 B3)  
LATITUDE: W 73' 50" 56.33' (W40 B3)  
LONGITUDE: ELEVATION: 93.3 ANSL (N40 B3)  
CLARENT USE: RESIDENTIAL & TELECOMMUNICATIONS  
PROPOSED USE: NO CHANGE

REV	DESCRIPTION
0	TITLE SHEET
0	ROOF PLAN & GENERAL NOTES
0	EQUIPMENT PLAN & NOTES
0	BUILDING ELEVATION
0	REWORK RADIO HEAD (RRH) MOUNTING DETAILS
0	SYSTEM DIAGRAM
0	RRH WIRING DIAGRAM
0	ELECTRICAL, TVSS NOTES, ABBREVI. & SYMBOLS
0	GROUNDING NOTES & DETAILS

NO.	REVISION	DATE
1	REVISED - WITH MARK UP TO COMPLETE CONSTRUCTION AIR PERMIT	04/08/2013
2	REVISED - PLACE ISSUES COMMENTS AND RESOLUTION	

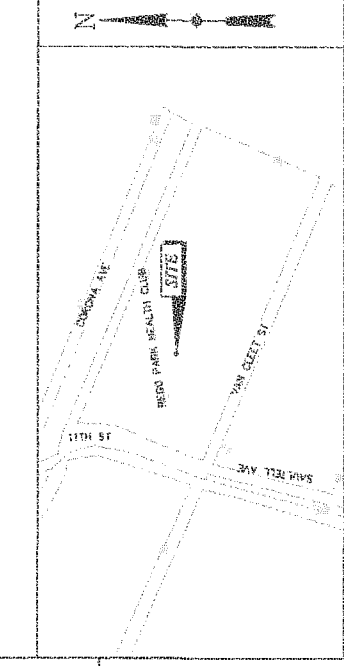
DATE: 04/08/2013	DATE: 04/08/2013
REVISIONS:	CONSTRUCTION
BY: ANISSAKOU Ndiaye	DATE: 04/08/2013
FOR: COMPLIANCE	



**SITE NUMBER: NYNRY0652**  
**SITE NAME: MEADOW LAKE**

**VICINITY MAP**

**FROM MORRISTOWN NJ:**  
DIRECTIONS: DEPART FROM 340 MT REMBLE AVENUE, MORRISTOWN, NJ 07960, HEAD WEST ON AIRPORT RD, TURN LEFT TO STAY ON AIRPORT RD, TAKE THE 1ST RIGHT ONTO CONJUNGA TURNPIKE, HERSE, ONTO NJ-24 E, TAKE THE 1ST RIGHT ONTO I-78 E, TOWARD NEWARK, TAKE THE EXIT ONTO I-28 N, TAKE THE 1ST RIGHT ONTO DYER AVE, TURN RIGHT AT DYER AVE, TURN LEFT AT W 34TH ST, TURN LEFT AT TUNNEL ENTRANCE ST, CONTINUE ONTO I-485 E, TAKE EXIT 27A-E TOWARD VAN WICK EXPT, FOLLOW SIGNS FOR GRAND CENTRAL PARK/PHIBOS BRIDGE, TAKE EXIT 10 W FOR I-495 W TOWARD NEWTOWN TUN MAMMARTAN, KEEP LEFT AT THE FORK TO CONTINUE TOWARD HORRACE HARBING BLVD/HORRACE HARBING EXPT, SLIGHT LEFT AT HORRACE HARBING BLVD/HORRACE HARBING EXPT, TURN RIGHT AT SAUTTELL AVE, TURN RIGHT AT CORONA AVE.



**PROJECT CONTACTS**

NAME	COMPANY	CONTACT NUMBER
ABIRATHAN SEASION	BECHTEL	(201) 571-0774
ANTHONY LINDO	BECHTEL	(201) 571-0639
AZAD KARIM	BECHTEL	(201) 571-0681

**APPLICABLE BUILDING CODES AND STANDARDS**

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (LAW) FOR THE LOCATION, TYPE OF WORK, AND MATERIALS TO BE USED. THE LATEST EDITIONS AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: BUILDING CODE OF NEW YORK STATE - 2010  
ELECTRICAL CODE: NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70-NATIONAL ELECTRICAL CODE (NEC) - 2008  
FIRE/LIFE SAFETY CODE: FIRE CODE OF NEW YORK STATE - 2010  
LIGHTNING PROTECTION CODE: NFPA 780-2008 LIGHTNING PROTECTION CODE  
SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:  
AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE  
AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION, THIRTEENTH EDITION.  
ASTM/AIA TELECOMMUNICATIONS INDUSTRY ASSOCIATION 223-C, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES.  
TELECOMMUNICATIONS  
TRA 807, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR ASSASSINING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM  
IEEE 1100 (1989) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT  
IEEE C2, NATIONAL ELECTRIC SAFETY CODE - LATEST VERSION  
TELECOM OR-1275, GENERAL INSTALLATION REQUIREMENTS  
AND 11.3.11, FOR TELECOM - IG POWER SYSTEMS - TELECOM ENVIRONMENTAL PROTECTION FOR ANY COMPLECT SECTION OF LISTED CODES AND STANDARDS REGARDING NATIONAL METHODS OF CONSTRUCTION OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE METHOD SHALL GOVERN. THE SPECIFIC REQUIREMENT SHALL GOVERN.

**STRUCTURAL STATEMENT**

EXISTING EQUIPMENT ROOM HAS BEEN EVALUATED FOR THE ADDITION OF NEW EQUIPMENT AND NO MODIFICATIONS TO THE EXISTING BUILDING AND FOUNDATION ARE REQUIRED.

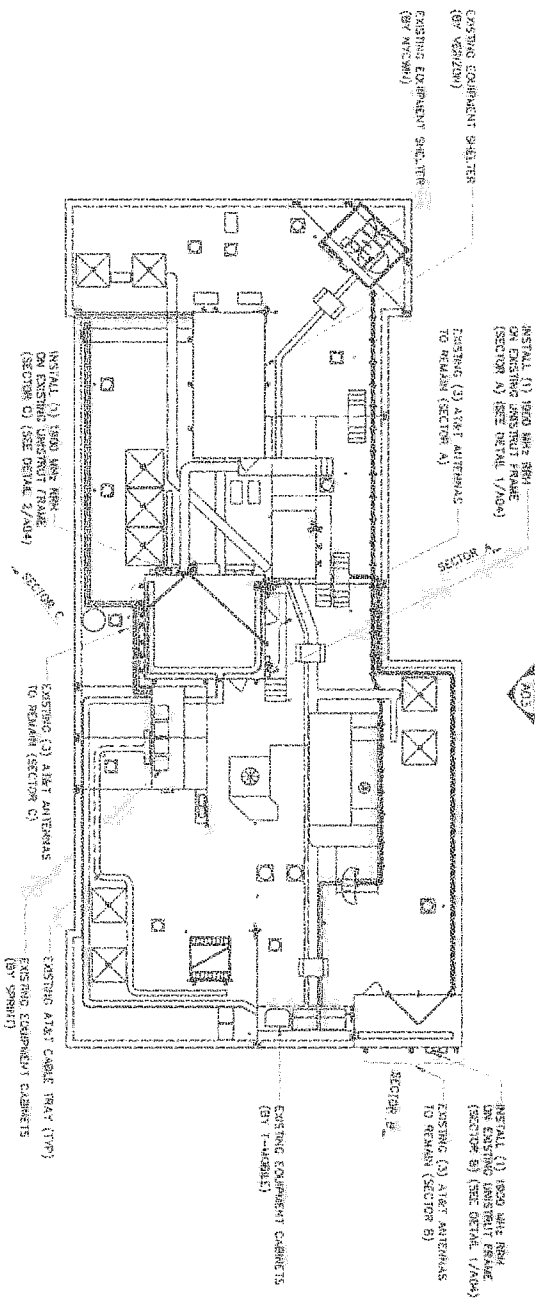
DATE: 07/10/13	SCALE: N.T.S.
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NO.	REVISION	DATE
1	ISSUED FOR CONSTRUCTION	07/10/13
2	ISSUED FOR CONSTRUCTION	07/10/13

at&t logo

TITLE SHEET

NYNRY0652-01



**NOTE:**  
 THE MATERIALS SHOWN ARE THE USUAL AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS, ETC.

**NOTES:**  
 1. PERMANENT OPERATIONS/MAINTENANCE SHALL BE HELD VERTICALLY.  
 2. ALL NEW WORK SHALL BE IDENTIFIED BY A RED LINE.  
 3. ALL NEW WORK SHALL BE IDENTIFIED BY A RED LINE.

**BECHTEL ASSOCIATES**  
 A UNIT OF BECHTEL CORPORATION  
 5075 WESTVIEW DRIVE  
 FREDERICK, MD 21703-8285 USA

**SITE NAME: MEADOW LAKE**  
**SITE NO: NY1000002**  
 111-26 CORONA AVENUE  
 FLUSHING, NY 11358



**ROOF PLAN**  
 SCALE 1/32" = 1'-0"

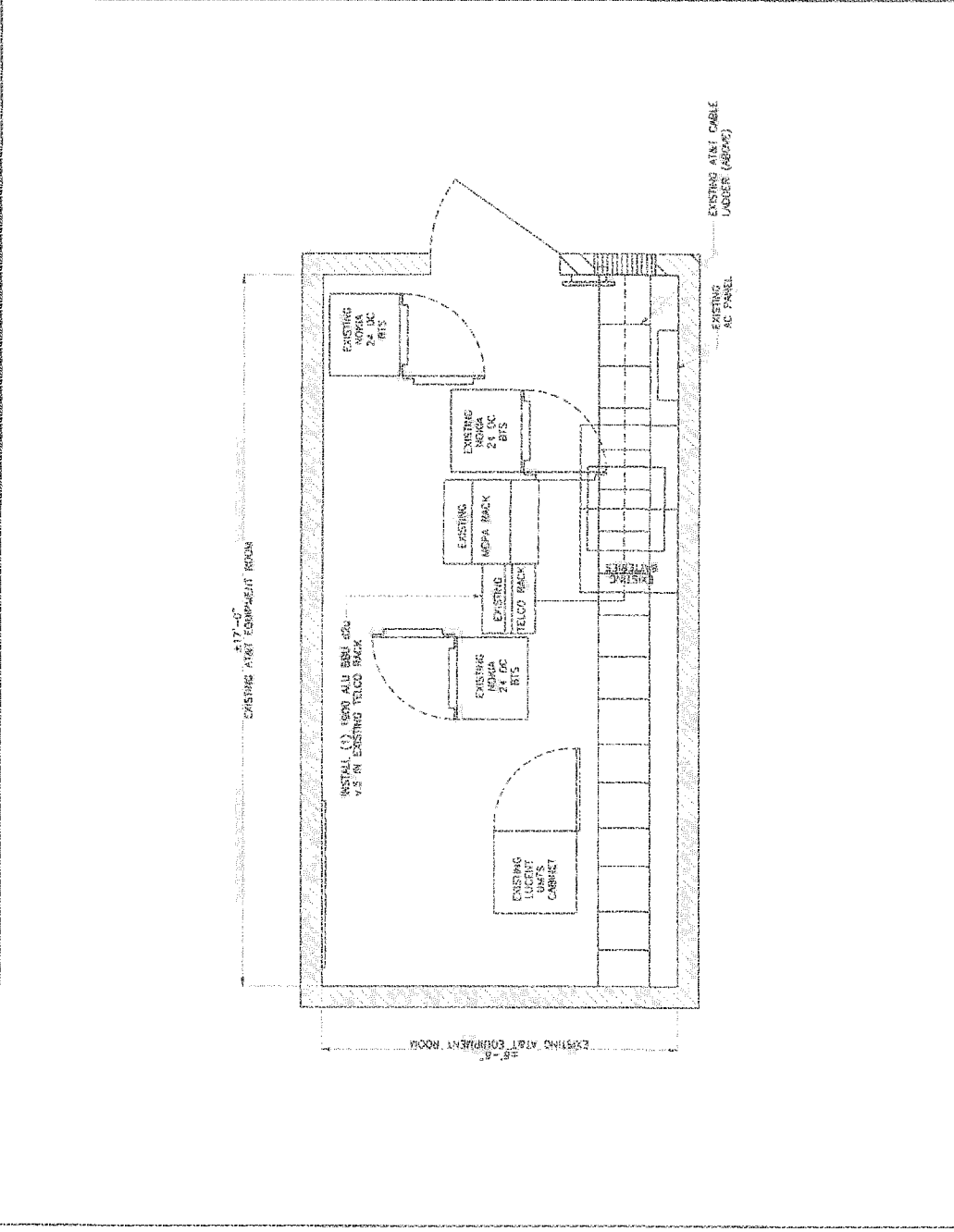
**SCALE:**  
 FULL SCALE 3/32" = 1'-0"  
 HALF SCALE 1/64" = 1'-0"

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR CONSTRUCTION			
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			
6	REVISION			
7	REVISION			
8	REVISION			
9	REVISION			
10	REVISION			
11	REVISION			
12	REVISION			
13	REVISION			
14	REVISION			
15	REVISION			
16	REVISION			
17	REVISION			
18	REVISION			
19	REVISION			
20	REVISION			

**DETAILS**  
 SCALE: N/A  
**AT&T**  
 ROOF PLAN & GENERAL NOTES

**GENERAL NOTES**

- FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:  
 CONTRACTOR - BECHTEL  
 SUBCONTRACTOR - GENERAL CONTRACTOR (CONSTRUCTION)  
 OWNER - NEW CHANNEL WIRELESS PCS, LLC ("NEW")  
 OEM - GENERAL EQUIPMENT MANUFACTURER
- REFER TO THE CONSTRUCTION OF THIS THE DRAWING SUBCONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE CONSTRUCTION OF THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THIS DRAWING.
- ALL MATERIALS SHOWN AND SPECIFIED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND STANDARDS. SUBCONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, ETC. BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS, ORDINANCES, AND APPLICABLE BUILDING CODES.
- ALL WORK SHALL INCLUDE PROTECTIVE MATERIALS, EQUIPMENT, AND SUPPLIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK.
- THE SUBCONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE SUBCONTRACTOR SHALL PROVIDE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CONTRACTOR.
- SUBCONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, ETC. BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK.
- THE SUBCONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, INVESTMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF OWNER.
- SUBCONTRACTOR SHALL INSTALL AND REMOVE ALL SCRAM MATERIALS SUCH AS CONCRETE, CEMENTS AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ALL REMOVED ITEMS SHALL BE RETURNED TO THE CORRECT DESIGNATED LOCATION.
- SUBCONTRACTOR SHALL LEAVE WORK IN CLEAN CONDITION.
- ALL CONCRETE REPAIR WORK SHALL BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE (ACI) 301.
- ALL NEW CONCRETE REPAIRS FOR THE CONSTRUCTION SHALL HAVE 4000 PSI STRENGTH AT A MINIMUM. ALL CONCRETE REPAIRS SHALL BE DONE IN ACCORDANCE WITH ACI 308 CODE REQUIREMENTS.
- ALL STRUCTURAL STEEL WORK SHALL BE DONE IN ACCORDANCE WITH ALL SPECIFICATIONS, GENERAL CONSTRUCTION SPECIFICATIONS.
- SUBCONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK.
- SINCE THE CELL SITE MAY BE ACTIVE, ALL SAFETY PRECAUTIONS MUST BE TAKEN WHEN WORKING AROUND HIGH LEVELS OF ELECTROMAGNETIC RADIATION. EXTERMINATION SHOULD BE AVOIDED. PERSONNEL AT EXPOSURE LOCATIONS ARE REQUIRED TO BE WORK TO LEVEL OF ANY SIGNIFICANT EXPOSURE LEVELS.



FULL SCALE 3/4"=1'-0"  
 1"=1'-0"  
 3"=1'-0"  
 HALF SCALE 3/8"=1'-0"

EQUIPMENT ROOM PLAN  
 SCALE: 1/4"=1'-0"  
 107

### CONSTRUCTION NOTES

1. FIELD SUBCONTRACTOR SHALL FIELD VERIFY SCOPE OF WORK, AIR-TO-AIR EQUIPMENT ROOM LOCATION AND ANTENNAS TO BE REPLACED.
2. COORDINATION OF WORK.
3. SUBCONTRACTOR SHALL COORDINATE RF WORK AND PROCEDURES WITH CONTRACTOR.
4. CABLE LADDER BACK.
5. SUBCONTRACTOR SHALL FINISH AND INSTALL CABLE LADDER BACK, CABLE TRAY, AND CONDUIT AS REQUIRED TO SUPPORT CABLES.

DETAIL  
 SCALE: N.T.S.

### STRUCTURAL STEEL NOTES

1. ALL STEEL WORK SHALL BE WELDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH AISC UNLESS OTHERWISE NOTED.
2. ALL WELDING SHALL BE PERFORMED USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "HANDBOOK OF STEEL CONSTRUCTION". PAINTED SURFACES SHALL BE TOUCH-UP PAINT.
3. BOLTED CONNECTIONS SHALL BE ASTM A305 BEARING TYPE (A/B) CONNECTIONS AND SHALL HAVE MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
4. NON-STRUCTURAL CONNECTIONS FOR STEEL CHANGING MAY USE 5/8" DIA. ASTM A 307 BOLTS UNLESS NOTED OTHERWISE.
5. REINFORCEMENT OF CONCRETE EXPANSION/WEDGE ANCHORS SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, EMBED OR END SHALL CONFORM TO MANUFACTURER'S WELDED CONNECTION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. WELDED CONNECTIONS SHALL BE PERMANENTLY WELDED TO THE CONCRETE. REINFORCEMENT SHALL BE PERMANENTLY WELDED TO THE CONCRETE. SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S WARRANTY ALLOWABLE LOADS.
6. ALL EXPANSION/WEDGE ANCHORS SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED. ALL ANCHORS SHALL BE SET IN 2" MINIMUM CONCRETE. ALL ANCHORS SHALL BE SET WITH STAINLESS STEEL WASHERS.

DETAIL  
 SCALE: N.T.S.

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RECHTEL ASSOCIATES  
 A LIMITED LIABILITY CORPORATION  
 11775 RECHTEL CORPORATION  
 FREDERICK, MD 21705-0586 USA

NOTE:  
 TOTAL REQUIRED REBAR/STEEL UNLESS THE SCOPE IS (9). TOTAL REQUIRED CONCRETE UNDER THIS SCOPE IS (7)

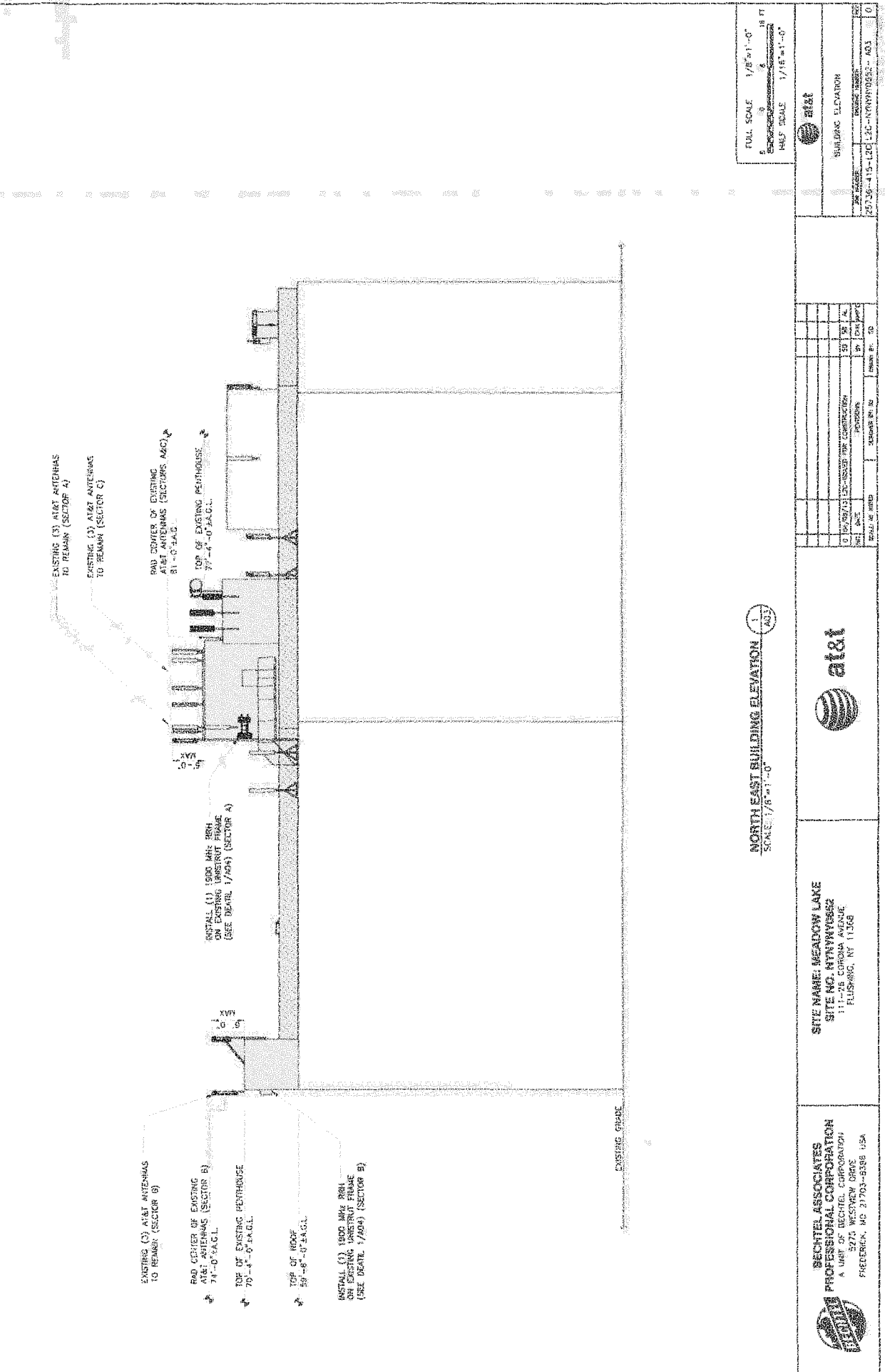
RECHTEL ASSOCIATES  
 A LIMITED LIABILITY CORPORATION  
 11775 RECHTEL CORPORATION  
 FREDERICK, MD 21705-0586 USA

NOTE:  
 TOTAL REQUIRED REBAR/STEEL UNLESS THE SCOPE IS (9). TOTAL REQUIRED CONCRETE UNDER THIS SCOPE IS (7)

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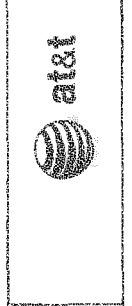
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FULL SCALE 1/8"=1'-0"  
 1/8 FT  
 HALF SCALE 1/16"=1'-0"  
 1/16 FT

BUILDING ELEVATION	
DATE	2013-11-15
PROJECT NO.	12-107000002-403

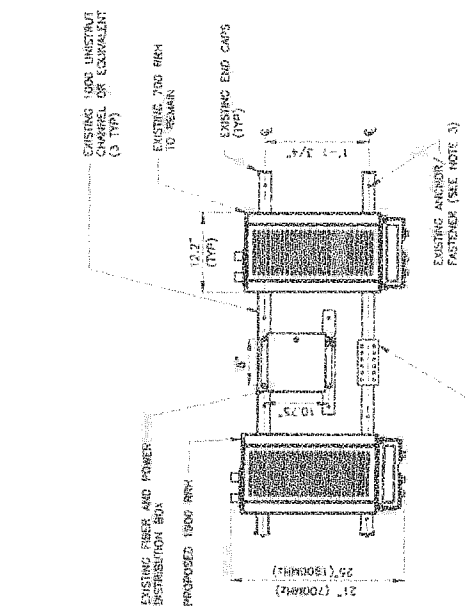
NORTH EAST BUILDING ELEVATION  
 SCALE: 1/8"=1'-0"



SITE NAME: MEADOW LAKE  
 SITE NO. NY10000022  
 111-28 CORONA AVENUE  
 FLUSHING, NY 11368

BECTEL ASSOCIATES  
 PROFESSIONAL CORPORATION  
 A UNIT OF BECTEL CORPORATION  
 3775 WESTVIEW DRIVE  
 FREDERICK, MD 21703-8388 USA

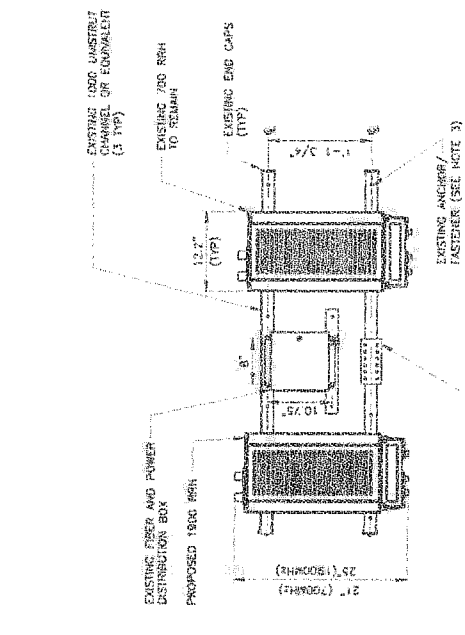
NO.	REV.	DATE	BY	CHK	DESCRIPTION
1					ISSUED FOR CONSTRUCTION
2					PROVISION
3					
4					
5					
6					
7					
8					
9					
10					



**NOTES:**

- ALCATEL-LUCENT (ALL) WA AT&T SUPPLIES THE RRH. SUBCONTRACTOR SHALL SUPPLY ALL OTHER MATERIALS AND INSTALL ALL MOUNTING HARDWARE. ALL INSTALLS RRH AND MAKES CABLE TERMINATIONS.
- A SUPPORT FOR A SINGLE RRH SHALL HAVE A MINIMUM OF TWO ANCHORS/FASTENERS FOR EACH UNISTRUT CHANNEL.
- INSTALL ANCHORS/FASTENERS A MINIMUM OF 2'-0" ON CENTERS.
  - WOOD STUDS - 1 1/8" LAG BOLT W/ 3" EMBEDMENT IN WOOD
  - CONCRETE - 1/4" DIA. HLT RRH BOLT W/ 1-1/2" EMBEDMENT OR EQUIVALENT
  - MASONRY - 1/4" DIA. ASB/ASX THROUGH ROD W/ NUTS AND WASHERS
  - MASONRY - 1/2" DIA. HLT RRH BOLT W/ 3" EMBEDMENT
 ANCHORS AND UNISTRUT CHANNEL SHALL HAVE HOT-DIPPED GALVANIZED FINISH.
- MOUNT RRH TO UNISTRUT WITH 3/8" UNISTRUT BOLTING HARDWARE AND SPRING NUTS. TYPICAL FOUR PER BRACKET. SUBCONTRACTOR SHALL SUPPLY.
- MOUNT FIBER AND POWER DISTRIBUTION BOX WITH FOUR (4) 1/4" UNISTRUT BOLTING HARDWARE AND SPRING NUTS.

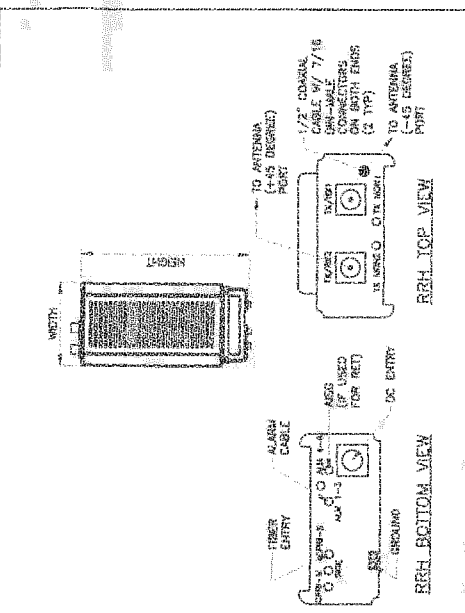
**RRH MOUNTING FOR SECTORS A & B**  
SCALE: N.T.S.



**NOTES:**

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  - CONCRETE - 1/4" DIA. HLT RRH BOLT W/ 1-1/2" EMBEDMENT OR EQUIVALENT
  - MASONRY - 1/4" DIA. ASB/ASX THROUGH ROD W/ NUTS AND WASHERS
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- MOUNT FIBER AND POWER DISTRIBUTION BOX WITH FOUR (4) 1/4" UNISTRUT BOLTING HARDWARE AND SPRING NUTS.

**RRH MOUNTING FOR SECTOR C**  
SCALE: N.T.S.



**SIZE AND WEIGHT TABLE**

RRH	WIDTH	DEPTH	HIGHEST W/O CABLE MANAGEMENT COVER	WEIGHT W/O BRACKET
RRH 700 RRH 2X40 (90%)	12.2"	19.0"	21"	51 LBS.
RRH 1800 RRH	12"	8"	25"	43 LBS. (W/O SOLAR SHIELD)

**NOTE: DIMENSIONS INCLUDE MOUNTING BRACKET, SOLAR SHIELD AND CONNECTORS.**

**MINIMUM CLEARANCE TABLE**

RRH CABINET	CLEARANCES (INCHES)	COMMENTS
FRONT	36"	INSTALLATION ACCESS
REAR	2"	FIELD CLEARANCE IS ALLOWED USING SCISSOR HOISTING DEVICES
RIGHT	4"	AIR FLOW
LEFT	4"	AIR FLOW
TOP	12"	AIR FLOW
BOTTOM	12"	CABLE ROUTING

**ALCATEL-LUCENT 9442 REMOTE RADIO HEAD (RRH)**

**ALCATEL-LUCENT 9442 REMOTE RADIO HEAD (RRH)**  
SCALE: N.T.S.

**BECHTEL ASSOCIATES PROFESSIONAL CORPORATION**  
A UNIT OF BECHTEL CORPORATION  
FREDERICK, MD 21701-2086 USA

**AT&T**

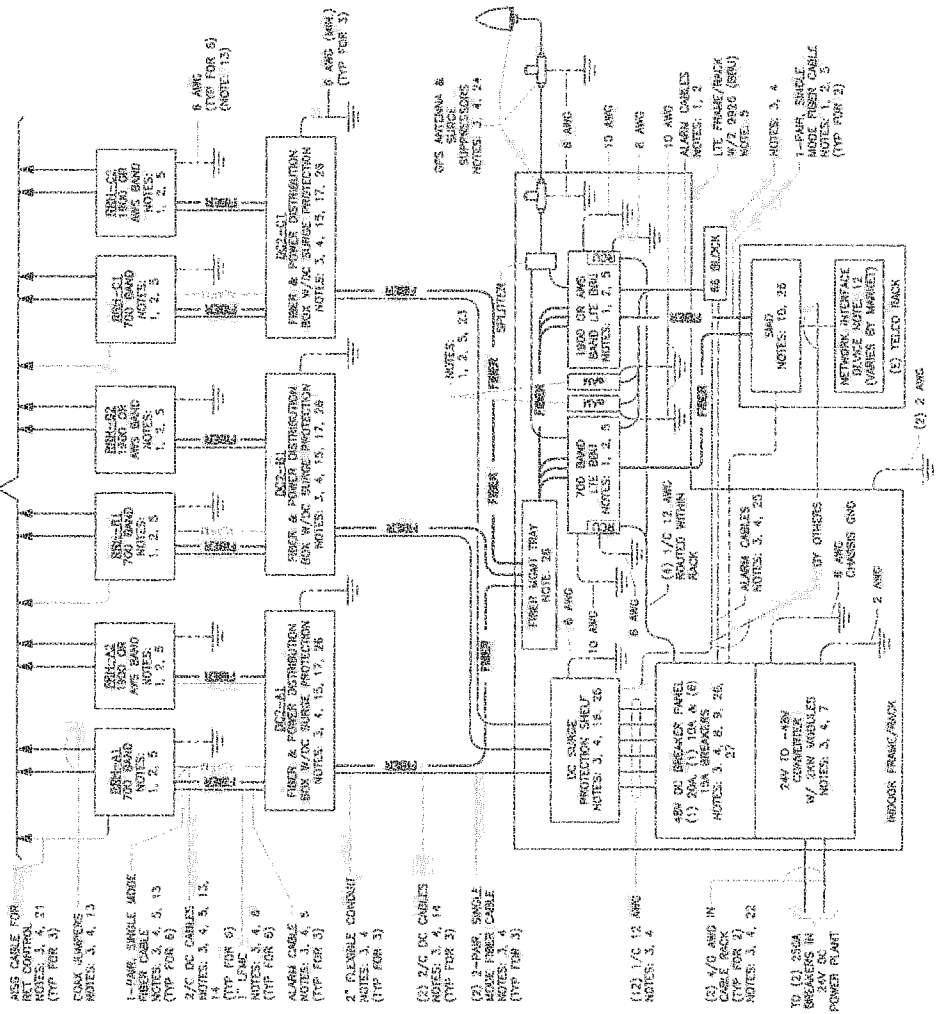
**SITE NAME: MEADOW LAKE**  
**SITE NO. NYNTYN258**  
111-25 CORONA AVENUE  
FLUSHING, NY 11350

NO.	DATE	BY	DESCRIPTION

REVISIONS BY: [ ]    DRAWN BY: [ ]



TOWARD ANTENNAS SEE RF DATA SHEET



- AGS CABLE FOR RT COMP. (TYP FOR 3)  
NOTES: 3, 4, 21
- COAX JACKS (TYP FOR 3)  
NOTES: 3, 4, 13
- 1-PAIR SINGLE MODE FIBER CABLE (TYP FOR 6)  
NOTES: 3, 4, 13
- 2/3 DC CABLES (TYP FOR 6)  
NOTES: 3, 4, 5, 15, 17, 29
- 1-PAIR SINGLE MODE FIBER CABLE (TYP FOR 6)  
NOTES: 3, 4, 6
- ALARM CABLE (TYP FOR 3)  
NOTES: 3, 4, 5
- 2-PARALLEL COAXIAL CABLES (TYP FOR 3)  
NOTES: 3, 4
- (2) 2/3 DC CABLES (TYP FOR 3)  
NOTES: 3, 4, 14
- (2) 2-PAR. SINGLE MODE FIBER CABLE (TYP FOR 3)  
NOTES: 3, 4, 22
- (2) 1/2 1/2 AWG (TYP FOR 3)  
NOTES: 3, 4
- (2) 1/2 3/4 AWG (TYP FOR 3)  
NOTES: 3, 4, 22
- TO (2) 20GA BREAKERS IN 24V DC POWER PLANT (TYP FOR 3)  
NOTES: 3, 4, 7

- NOTES:
1. FURNISHED BY OEM/ALC
  2. INSTALLED BY OEM OR AS SCOURD BY MARKET
  3. FURNISHED BY BECHTEL
  4. INSTALLED BY BECHTEL
  5. FIBER CABLE SHALL BE 100 OHM OM 3P AS SPEC BY MARKET
  6. COAX CABLES SHALL BE 50 OHM OM 3P AS SPEC BY MARKET
  7. COAX CABLES SHALL BE LEFT WEATHERPROOFED WHEN TERMINATED
  8. TERMINALS SHALL BE 1/2 INCH OD X .315 WALL FEED DC CONVERTER WITH 012-526-20-040 2AW GND. LABEL.
  9. PART OF CONVERTER WITH 1/2 BREAKER POSITION. BREAKERS SPECIFIED SEPARATELY.
  10. SWG IS FURNISHED AND INCLUDES POWER CONNECTIONS AND FIBER TO THE UNIT OR AS SCOURD BY MARKET. WHEN IN DELTID, SCOURD, INSTALL TO AWG CHASSIS GROUND, PREPARE (2) 1/4 BREAKERS FROM A 24V DC POWER SOURCE OR (2) 1/4 BREAKERS FROM A 48V DC POWER SOURCE AND CONNECT USING WFN POWER GLETER WITH SPECIAL CONNECTION.
  11. LEG TO FURNISH AND INSTALL NETWORK INTERFACE DEVICE
  12. LEG TO FURNISH AND INSTALL NETWORK INTERFACE DEVICE
  13. LEAD COILED AND PROTECTED FOR ALL
  14. SEE DETAIL 1409 FOR CABLE SIZES
  15. DC SURGE SHIELD SHALL BE RAYCAP DC-48-60-60 SEE DETAIL 1458A FOR INTERNAL WIRING DIAGRAM
  16. DC SURGE SHIELD SHALL BE RAYCAP DC-48-60-60 SEE DETAIL 1458A FOR INTERNAL WIRING DIAGRAM
  17. SEE DETAIL 1411 FOR INTERNAL WIRING DIAGRAM
  18. SINGLE-CONDUCTOR DC POWER CABLES SHALL BE TELECOM-EM OR 424194\* COAX. CABLES SHALL BE NON-HALOGEN, LOW SMOKE WITH SHROUD COVER, TYPE 1C (1/2 AND LARGER), UNLESS OTHERWISE NOTED. STRANDING SHALL BE CLASS B (TYPE AW) FOR CABLES 14, 12, 4, 10 AWG AND CLASS I (TYPE AW) FOR SIZE 8 AWG AND LARGER. CABLES SHALL BE COLOR CODED FOR 24V AND 48V. RED FOR 24V AND GRAY FOR 48V. COAX SHALL BE CLASS B STRANDING WITH FLAME RETARDANT PVC JACKET, TYPE 1C, UN-STRIPED FOR 80°C DRY/75°C WET INSTALLATION.
  20. GROUNDING WIRING SHALL BE COPPER GREEN TRNH/THW UN-LETERED FOR 80°C DRY/75°C WET INSTALLATION. MINIMUM SIZE IS 8 AWG UNLESS NOTED OTHERWISE.
  21. DATA CABLES SHALL BE TYPE 1B WITH AN OPTIONAL METHOD OF CONNECTION. REFER TO # 22. MINIMUM 4/0 AWG CABLE LENGTH FROM 24V DC POWER PLANT TO CONVERTER SHALL NOT EXCEED 44 FT.
  22. PROVIDE GROUND WIRING FOR ENHANCED ALARM MODELS (EAM) WHEN EMPLOYED BY MARKET. SHALL 1/2 FOR UPS ANTENNA AND SURGE SUPPRESSOR COAXIAL CABLE CONNECTION.
  24. CONNECTION.
  25. SEE DETAIL 1150C FOR ALARM CABLE REQUIREMENTS.
  26. NOTED EQUIPMENT MAY BE COMMON TO LTE AND UNITS SYSTEMS. REFER TO UNITS SYSTEM DIAGRAM IF APPLICABLE.
  27. EQUIPMENT MODEL 9800-009 IF MODEL 9870 (G2443) MAY BE POWERED FROM A 10A BREAKER.

SEE SYSTEM DIAGRAM, ROOFTOP  
WITH ALU-BASEBOARD INDOOR EQUIPMENT  
ON ROOF

DETAIL 1407  
SCALE: NTS  
E01

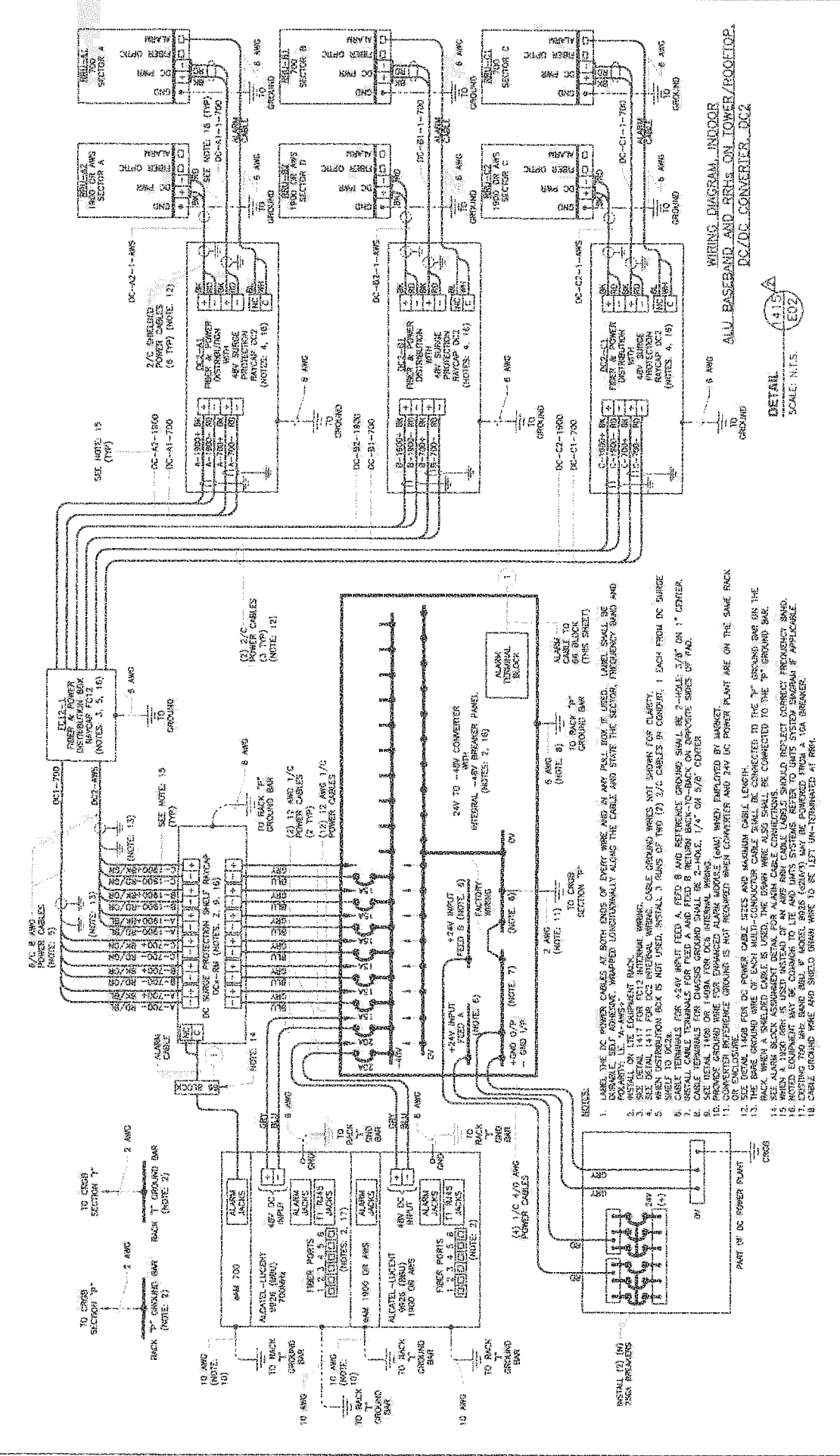
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SITE NAME: MEADOW LAKE  
SITE NO. N7WVHT052  
1111-25 CIPPOIN AVENUE  
FLUSHING, NY 11368

BECHTEL ASSOCIATES  
A UNIT OF BECHTEL CORPORATION  
3879 WESTCHASE DRIVE  
FREDERICK, MD 21743-6386 USA

SYSTEM DIAGRAM  
50759-419-1-20-PROTINCESA-E01

DATE:	2015-08-20
REVISION:	1
BY:	JOHN J. HANCOCK
CHK:	JOHN J. HANCOCK
APPR:	JOHN J. HANCOCK
DATE:	2015-08-20
REVISION:	1
BY:	JOHN J. HANCOCK
CHK:	JOHN J. HANCOCK
APPR:	JOHN J. HANCOCK



WIRING DIAGRAM, INDOOR  
DC/DC CONVERTER, DCX

DETAIL 1:15  
SCALE: N.T.S.

1. LABEL THE DC POWER CABLES AT BOTH ENDS OF EVERY WIRE AND IN ANY PULL BOX IF USED. LABEL SHALL BE DURABLE, SELF-ADHESIVE, WRAPPED LONGITUDINALLY ALONG THE CABLE AND STATE THE SECTOR, FREQUENCY, BRAND AND INSTALL ON THE EQUIPMENT BACK.
2. SEE DETAIL 1417 FOR DC2 INTERNAL WIRING. CABLE GROUND WIRES NOT SHOWN FOR CLARITY.
3. SEE DETAIL 1417 FOR DC2 INTERNAL WIRING. CABLE GROUND WIRES NOT SHOWN FOR CLARITY.
4. SEE DETAIL 1417 FOR DC2 INTERNAL WIRING. CABLE GROUND WIRES NOT SHOWN FOR CLARITY.
5. SEE DETAIL 1417 FOR DC2 INTERNAL WIRING. CABLE GROUND WIRES NOT SHOWN FOR CLARITY.
6. CABLE TERMINALS FOR +24V INPUT FEED A, FEED B AND RETURN GROUND SHALL BE 2-HOLE, 3/8" ON 1" CENTER.
7. CABLE TERMINALS FOR CHASSIS GROUND SHALL BE 2-HOLE, 1/4" ON 5/8" CENTER.
8. CABLE TERMINALS FOR CHASSIS GROUND SHALL BE 2-HOLE, 1/4" ON 5/8" CENTER.
9. CABLE TERMINALS FOR CHASSIS GROUND SHALL BE 2-HOLE, 1/4" ON 5/8" CENTER.
10. POWER GROUND WIRE FOR ENHANCED ALARMS (AND WIRE) EMPLOYED BY MARKET.
11. CONVERTER REFERENCE GROUND IS NOT REQUIRED WHEN CONVERTER AND 24V DC POWER PLANT ARE ON THE SAME RACK OR ENCLOSURE.
12. THE DETAIL 1409 FOR DC POWER CABLE SIZES AND MAXIMUM CABLE LENGTH.
13. BACK WHEN A SHIELDED CABLE IS USED, THE Braid WIRE ALSO SHALL BE CONNECTED TO THE "P" GROUND BAR ON THE ALARMS.
14. SEE ALARM BLOCK ASSIGNMENT DETAIL FOR ALARM CABLE CONNECTIONS.
15. WHEN A 1900 AMP IS USED INSTEAD OF AN AMP RACK CABLE LABELS SHOULD REFLECT CORRECT FREQUENCY BRAND.
16. UNLESS OTHERWISE SPECIFIED, ALL CABLES SHALL BE 1900 AMP RACK CABLES.
17. UNLESS OTHERWISE SPECIFIED, ALL CABLES SHALL BE 1900 AMP RACK CABLES.
18. CABLE GROUND WIRE AND SHIELD Braid WIRE TO BE LEFT UNTERMINATED AT RACK.

**BECHTEL ASSOCIATES**  
PROFESSIONAL CORPORATION  
A UNIT OF BECHTEL CORPORATION  
5275 WESTVIEW DRIVE  
FREDERICK, MD 21703-5335 USA

**at&t**

SITE NAME: MEADOW LAKE  
SITE NO. WYNYW028Z  
1111-25 CORDOVA AVENUE  
FLUSHING, NY 11358

SCALE: N.T.S.	DATE: 01/15/13	DESIGNER: J. W. WILSON	CHECKER: J. W. WILSON
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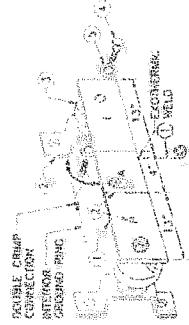
RHH WIRING DIAGRAM  
25738-415-1001 DC-INTERNAL-DCX-502 0



**GROUNDING NOTES (AS APPLICABLE):**

1. THE SUBCONTRACTOR SHALL REVIEW AND INSPECT THE EXISTING FACILITY GROUNDING SYSTEM AND LIGHTNING PROTECTION SYSTEM (AS DESIGNED AND INSTALLED) FOR STRICT COMPLIANCE WITH THE NEC (AS ADOPTED BY THE AEC), THE SITE-SPECIFIC (UL, LP, OR NFPA) LIGHTING PROTECTION CODE, AND GENERAL COMPLIANCE WITH ALL THE GROUNDING STANDARDS. THE SUBCONTRACTOR SHALL REPORT ANY VIOLATIONS OR DEFICIENCIES TO THE SUPERVISOR FOR RESOLUTION.
2. ALL GROUNDING SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION, AND AC) SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC, THE FOLLOWING CODES, AND THE PROJECT SPECIFICATIONS. THE CONSTRUCTION FOR RESOLUTION:
3. THE SUBCONTRACTOR SHALL PROTECT ALL FULL-UP-POTENTIAL RESISTANCE TO EARTH TESTS, OPEN RING (OR BILD) FOR NEW GROUNDING SYSTEMS. THE SUBCONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL INSULATED ELECTRICAL SYSTEMS AS NEEDED TO ACHIEVE A TEST RESULT OF 3 OHMS OR LESS. TESTS SHALL BE PERFORMED IN ACCORDANCE WITH 24782-000-310-000-000-1. DESIGN & TESTING OF FACILITY GROUNDING FOR CELL SITES.
4. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUNDING CONDUCTOR. STAINLESS STEEL COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER WIRING TO THIS EQUIPMENT.
5. EACH RDS CABLETRAY FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUNDING WIRES, 6 AWG STRANDED COPPER OR LARGER, FOR AROUND WTS, 2 AWG STRANDED COPPER FOR OUTDOOR WTS.
6. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
7. APPROVED APPROPRIATE CONTACTS (IE, CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
8. USE BRASS BUSHINGS, CONNECTORS SHALL BE EXOTHERMICALLY BUSHED OR BOLTED WITH STAINLESS STEEL NUTS/BUSHINGS TO THE BRIDGE AND THE TOWER GROUND BAR.
9. ALUMINUM CONDUCTOR OR COPPER GROUND BAR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. MISCELLANEOUS ELECTRICAL AND NON-ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BUSHED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
11. METAL CONDUIT AND TRAY SHALL BE GROUNDINGLY CONNECTED WITH LISTED BUSHING FITTINGS OR BUSHING ADAPTERS THE EQUIVALENT WITH 6 AWG COPPER WIRE OR APPROVED GROUNDING TYPE CIRCUIT CLAMPS.
12. GROUNDING CONDUCTORS USED IN THE FACILITY GROUND AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE USED AS SUPPLEMENTAL SUPPLEMENTARY EQUIPMENT GROUNDING CONDUCTORS. CONDUCTORS SHALL BE PROTECTED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS. NON-METALLIC MATERIALS SUCH AS PVC PLASTIC CONDUIT SHALL BE USED WHERE USE OF METAL CONDUIT IS UNDESIRABLE (E.G. NON-METALLIC CONDUIT MANUFACTURED BY LOCAL CODE). THE GROUNDING CONDUCTOR SHALL BE BUSHED TO EACH END OF THE METAL CONDUIT.
13. ALL TOWER GROUNDING SYSTEMS SHALL CONFORM WITH THE REQUIREMENTS OF ANSI/TIA 222-2 FOR TOWERS BEING BUILT TO REV G OF THE STANDARD. THE WIRE SIZE OF THE BUSHED GROUND RING AND CONNECTIONS BETWEEN THE TOWER AND THE BUSHED GROUND RING SHALL BE CHANGED FROM 2 AWG TO 2/0 AWG. IN ADDITION, THE MINIMUM LENGTH OF THE GROUND ROOF SHALL BE INCREASED FROM 5 FEET TO 10 FEET.

NO.	REQ.	QTY	DESCRIP.
1	1	1/4" x 1/4" x 30"	SOLD GND BAR
2	2	1/4" x 1/4" x 96"	WALL MTC. WIRE
3	2	1/4" x 1/4" x 4	WALNUTS
4	4	3012-1	5/8" x 11 1/2" H.C.S.
5	4	3015-2	5/8" LOKWASHER



EACH GROUNDING CONDUCTOR TERMINATING ON ANY GROUND BAR SHALL HAVE AN EXOTHERMIC WELD TO THE GROUND BAR AND THE GROUND BAR SHALL BE BUSHED TO THE GROUND BAR.

**SECTION 1.3.1.3 - BUSHING PROCEDURES**

1. CABLE ENTRY PORTS (PATCH PLATES) (2 AWG)
2. GENERATOR FRAMEWORK (IF AVAILABLE) (2 AWG)
3. TILED GROUND BAR (2 AWG)
4. COMMERCIAL POWER EQUIPMENT NEUTRAL/GROUND BOND (2 AWG)
5. 4-240 POWER SUPPLY RETURN BAR (2 AWG)
6. 1-480 POWER SUPPLY RETURN BAR (2 AWG)
7. COAX SUPPRESSION

**SECTION 1.3.1.4 - SURFACE ASSIGNMENTS**

1. INTERIOR GROUND RING (2 AWG)
2. EXTERNAL PATCH POINT GROUND RING (BUSHED GROUND RING) (2 AWG)
3. METALLIC COLD WATER PIPES (IF AVAILABLE) (2 AWG)
4. BUILDING STEEL (IF AVAILABLE) (2 AWG)
5. ALL COMMUNICATIONS EQUIPMENT FRAMES
6. RELEASED GROUND BAR - 658 (2 AWG)

**DETAIL NOTES:**

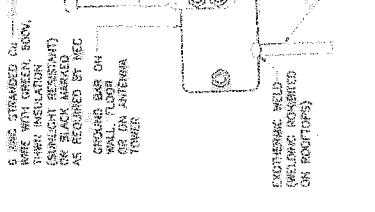
1. EXOTHERMICALLY WELD 2 AWG BARE THREE SOLID COPPER CONDUCTORS TO THE GROUNDING CONDUCTOR TO BUSHED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD.
2. USE PERMANENT MARKER TO DRAW THE LINES BETWEEN EACH SECTION AND LABEL EACH SECTION ("P", "A", "T") WITH 1" HIGH LETTERS.

(AEC) REFERENCE: GROUND BAR - DETAIL

119  
104  
SCALE: N.T.S.

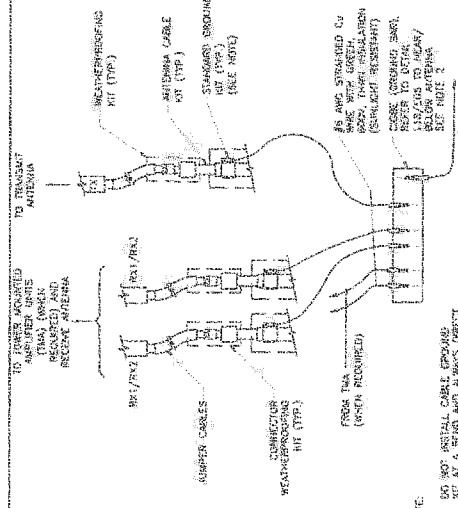
118  
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SCALE: N.T.S.

CONNECTION OF GROUND WIRE TO GROUND BAR



INSTALLATION OF GROUND WIRE TO COAX CABLE GROUND BAR DETAIL

115  
104  
SCALE: N.T.S.



CONNECTION OF GROUND WIRE TO GROUND BAR

117  
104  
SCALE: N.T.S.

**BECHTEL ASSOCIATES**  
PROFESSIONAL CORPORATION  
A UNIT OF BECHTEL CORPORATION  
3775 WESTVIEW DRIVE  
FREDERICK, MD 21703-9386 USA

**at&t**

SITE NAME: MEADOW LAKE  
SITE NO. HYNYNYE82  
111-261 CORONA AVENUE  
FLUSHING, NY 11368

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GROUNDING NOTES & DETAILS

207539-415-1100 DC-1000100500-004

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Manager Site Name/Number: Rego Park/ NY-6024  
Manager Contract Number: 19289  
Tenant Site Name/FA Number: Meadow Lake / 10075049

**EXHIBIT 6-3**

*See attached Rooftop Relocation/ Reconfiguration Application*



<input type="checkbox"/> NEW LEASE <input checked="" type="checkbox"/> AMENDMENT TO EXISTING LEASE <input type="checkbox"/> RECONTRACT <input type="checkbox"/> BTS ANCHOR TENANT				INTERNAL USE ONLY	
				APP VERSION #	1
				LEASE #	19289
				AMENDMENT #	3rd

PLEASE RETURN THIS APPLICATION VIA EMAIL TO:		GTP Site Number:	NY-6024
Global Tower Partners 750 Park of Commerce Blvd Suite 300 Boca Raton, FL 33487-3612 Attn: Regional Leasing Mgr		GTP Site Name:	Rego Park
		E-Mail: <a href="mailto:sophia.brown@americantower.com">sophia.brown@americantower.com</a>	Application Date:
Phone: 561-866-5859		Revision Dates:	4/9/2014
		RSM Approval:	4/01/2014 Jeanne Bruning

APPLICANT / CARRIER INFORMATION			
Carrier Name:	AT&T	Contact Name:	Jason Goldfarb
Carrier Site Number:	NYNINY0652	Contact Number:	(917) 543-7865
Carrier Site Name:	Meadow Lake	Contact Fax:	(973) 775-0800
Carrier Legal Entity Name:	New Cingular Wireless PCS, LLC	Contact Address:	1444 East Jericho Turnpike, Huntington, NY 11742
State of registration:	Delaware		
Type of entity (LP, LLC, Corp) d/b/a (if applicable):	LLC		
Notice Address for Lease:	New Cingular Wireless PCS, LLC Attn: Network Real Estate Administration 575 Morosgo Drive NE, Suite 13-F West Tower, Atlanta, GA 30324	Contact E-mail:	<a href="mailto:jg777b@att.com">jg777b@att.com</a>
With copies to:	New Cingular Wireless PCS, LLC AT&T Legal Department - Network 208 S. Akard Street Dallas, TX 75202-4206	Additional E-mail:	N/A
Carrier Invoice Address:		Other:	
Carrier Invoice Contact - Name, Title, Phone No.		Carrier NOC#	

ADDITIONAL CONTACT INFORMATION	
Leasing Contact Name/Number:	Frederick Ricciardi / 201-571-0721
RF Contact Name/Number:	Azad Karim / 201-571-0651
Construction Contact Name/Number:	Jonathan Beatson / 201-571-0772
Emergency Contact Name/Number:	Frederick Ricciardi / 201-571-0721

SITE INFORMATION - This information can be found and should match the information on <a href="http://www.gtpsites.com">www.gtpsites.com</a>				
Latitude:	40.740330	N	Existing Structure Type:	Building
Longitude:	-73.849620	W	Existing Structure Height:	75
Site Address:	111-26 Corona Boulevard, Queens, NY			

FREQUENCY/TECHNOLOGY INFORMATION	
Type of Technology for all equipment (i.e., 3G, LTE, CDMA, MW, WiFi, TV, etc.)	GSM, UMTS, LTE
TX Frequency (MHz) Licensed	698-746, 869.04-879.99, 890.01-891.48, 1965-1970, 1930-1945
RX Frequency (MHz) Licensed	698-746, 824.04-834.99, 845.01-846.48, 1885-1890, 1850-1865
Tenants using an unlicensed band must provide exact Frequency Channels and Call Sign(s) to be utilized. (Providing the band range only will not be accepted.)	

PLEASE PROVIDE BRIEF DESCRIPTION OF GENERAL SCOPE OF WORK
Install 1 Remote Radio Head at each Antenna Sector (total of 3). Connect RRH's to LTE antenna with RF jumper cables. Install 1 BBU in AT&T's equipment room.





**EXISTING EQUIPMENT**

**Applicant's Existing Equipment Configuration and Specifications**

Equipment Type (ex: panel, TMA, RRU)	RAD (feet)	Mount Height (feet)	Mount Type	Equip Qty	Equipment Manufacturer	Equipment Model #	Equip Dim (HxWxD) (ft or in)	Equip Weight (lbs)	Az	Remain
Panel	76', 72', 81'	74', 70', 79'	Pipe Mount	6	Kathrein	742-264	51.8" x 10.3" x 5.5"	36.4	0, 120, 240	Yes
Panel	81', 72', 81'	79', 70', 79'	Pipe Mount	3	Powerwave	P65-15-XLH-RR	51" X 12" X 6"	30	0, 120, 240	Yes
GPS	77'	77'	Pipe Mount	1	Kathrein	OG-860/1920/GPS-A	13" x 2"	1.65	Omni	Yes
GPS	77'	77'	Pipe Mount	1	Pctel	GPS-TMG-HR-26	5" x 3.2"	.6	Omni	Yes
Distribution Box	N/A	75', 67', 75'	Flush Mount	3	Raycap	DC2-48-60-9E	10.38" x 10.75" x 6.29"	16	N/A	Yes
Junction Box	N/A	70'	Flush Mount	1	Raycap	FC12-PC6-10E	16.25" x 15.5" x 6.64"	30	N/A	Yes
RRU	N/A	75', 67', 75'	Flush Mount	3	Alcatel Lucent	9442 RRH 700 MHz	21" x 12.2" x 10.8"	51	N/A	Yes
TMA	N/A	76', 72', 81'	Pipe Mount	6	Andrew	ETD819G-12UB	15.8" x 15.8" x 3.1"	33.1	N/A	Yes
LNA	N/A	76', 72', 81'	Pipe Mount	6	Nokia	1900 Nokia SB LNA	14" x 10.5" x 3.1"	17	N/A	Yes
Diplexer	N/A	74', 70', 79'	Pipe Mount	6	Andrew	641280-DF-9-DCB	7.32" x 7.32" x 2"	4.3	N/A	Yes
MCPA	N/A	74', 70', 79'	Flush Mount	3	Powerwave	G3L-850-160	1'2" x 4" x 16"	24.3	N/A	Yes
Reserved Antenna	N/A	N/A	Pipe Mount	3	Reserved Antenna rights	N/A	N/A	N/A	N/A	Yes
Reserved Microwave	N/A	N/A	Pipe Mount	1	Reserved Microwave rights	N/A	N/A	N/A	N/A	Yes

**EXISTING LINES**

**Applicant's Existing Lines and Specifications**

Line Type	Line Size (Inches)	Total # of Lines	Coax interior or exterior (for monopoles)	Remain	Comments:
Fiber	1/2"	6	N/A	Yes	
Coax	7/8"	14	N/A	Yes	
Coax	1 1/4"	2	N/A	Yes	



**PROPOSED EQUIPMENT**

Applicant's Proposed Equipment Configuration and Specifications

Equipment Type (ex: panel, TMA, RRU, ice shields)	RAD (feet)	Mount Height (feet)	Mount Type	Equip Qty	Equipment Manufacturer	Equipment Model #	Equip Dim (HxWxD) (ft or in)	Equip Weight (lbs)	Azimuth
RRU	N/A	67, 75, 75	Flush Mount	3	Alcatel-Lucent	RRH2X60-1900	20.1" x 11.2" x 7.2"	43	N/A

**PROPOSED LINES**

Applicant's Proposed Lines and Specifications

Line Type	Line Size (Inches)	Total # of Lines	Coax interior or exterior (for monopoles)	Comments:
Coax				
RET Home Run Cable				
Fiber				
DC Power				





PROPOSED FINAL CONFIGURATION TOTALS	
EQUIPMENT TYPE	TOTAL
Panel Antennas	9
Omni/Whip Antennas	NA
RRU	6
TMA	12
Diplexer / Triplexer	6
Bias T	NA
Surge Suppressor	3
MW Dish	NA
Ice Shield	NA
ODU	NA
Filter	NA
Combiner	NA
Junction Box	1
RET	NA
Equipment Cabinets	4
Other (Please specify)	
Other (Please specify)	
Other (Please specify)	
Other (Please specify)	
Other (Please specify)	

PROPOSED FINAL CONFIGURATION TOTALS	
LINE TYPE	TOTAL
Coax	16
Hybrid	NA
CAT5	NA
DC/Power	NA
RET	NA
Fiber	NA

ADDITIONAL EQUIPMENT INFORMATION
<ul style="list-style-type: none"> <li>• RRUs, TMAs and ODUs are required to be installed directly behind the antennas / MW dish. Otherwise there will be an additional charge.</li> <li>• For Monopoles: All lines are required to be installed inside the tower when space is available. GTP must approve any installation of lines on the outside of the tower prior to NTP issuance.</li> <li>• Carriers could be charged an additional \$50.00 per line per month if equipment lines are installed on the outside of the monopole without prior approval when there is available space inside the tower.</li> </ul>



GROUND / INTERIOR SPACE REQUIREMENTS					
Total Ground / Interior Area Dimensions: L' x W' = Total Square Feet Required		17' X 8.6'	(Including all Equipment (i.e., Shelter, Equipment Platform or Pad, Generator Pad, Generator Fuel Tank Pad, Antenna Sleds, etc. – provide details below)		
Cabinet Area Dimensions (Pad/Platform)		X	Cabinet Installation Type	Interior Tenant Space	
Shelter Pad Dimensions		X	Shelter Manufacturer		
Rooftop Antenna Total Area Required		X	Antenna Sled Dimensions (per sector)	X	Antenna Wall Mount Dimensions (per sector)

EQUIPMENT CABINET REQUIREMENTS (Required for rooftops or GTP interior space)					
Number of Cabinets Required	3	Cabinet Dimensions (L' x W' x H')	2' x 2' x 6'	Manufacturer:	Nokia
Number of Cabinets Required	1	Cabinet Dimensions (L' x W' x H')	2' x 2' x 6'	Manufacturer:	Lucent
Number of Cabinets Required		Cabinet Dimensions (L' x W' x H')		Manufacturer:	
Equipment Cabinet Comments					

GENERATOR REQUIREMENTS					
Generator Required?:		Generator Fuel Type		Generator Size	
Generator Pad Dimensions			Generator Manufacturer		
Generator Fuel Tank Pad Dimensions			Fuel Tank Manufacturer		

AC POWER REQUIREMENTS			
Meter Type	Submeter	Estimated Monthly Utility Usage Amount	
Voltage	120	Total Amperage	200

FIBER / BACKHAUL			
Fiber Installation Status	Existing (No Change)	Fiber Provider	Verizon
Cable Type	Fiber	Number of Points of Entry	1
		Conduit/Riser Size (in inches)	

STRUCTURAL ANALYSIS DETAILS		
Structural Hardcopies Required?	No	If wet seals required, please provide address:

ADDITIONAL COMMENTS

## **FOURTH AMENDMENT TO SUBLEASE AGREEMENT**

This Fourth Amendment (the "*Fourth Amendment*") to that certain Sublease Agreement dated October 31, 1995 by and between Rego Park Nursing Home, Ltd. and AT&T Wireless Services, as amended by that certain Amendment to Sublease Agreement dated December 18, 2001, as amended by that certain Second Amendment to Sublease Agreement dated October 2, 2006, as amended by that certain Third Amendment to Sublease Agreement dated June 25, 2014 (collectively, the "*Agreement*") is made and entered into as of the latter signature date hereof, by and between Cell Tower Lease Acquisition LLC, a Delaware limited liability company, successor in interest to Rego Park Nursing Home, Ltd. (the "*Landlord*") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, successor in interest to AT&T Wireless Services (the "*Tenant*") (collectively, the "*Parties*").

### **RECITALS**

WHEREAS, Landlord holds an easement at a certain building located at 111-26 Corona Boulevard, Flushing, NY 11368 more commonly known to Landlord as the Rego Park, NY (the "*Property*"); and

WHEREAS, Landlord and Tenant entered into the Agreement for the use of portions of the roof and equipment space at the antenna site (the "*Subleased Premises*"); and

WHEREAS, Tenant desires to modify its equipment at the Subleased Premises ("*Modified Equipment*"); and

WHEREAS, the Parties desire to amend certain terms of the Agreement.

NOW THEREFORE, in consideration of the foregoing promises and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties hereto agree as follows:

- 1) Tenant shall modify its equipment for a current installed configuration pursuant to Exhibit 3-4.
- 2) Tenant's equipment information set forth in Exhibit 6-3 shall hereby be deleted in its entirety as of the date this Fourth Amendment is fully executed and shall be replaced with Exhibit 3-4 attached hereto and incorporated by reference. Exhibit 3-4 is attached to identify Tenant's current equipment. Tenant and Landlord agree that Tenant's current equipment described in Exhibit 3-4 will not be deemed to limit Tenant's Use rights as set forth in section 2 of the Agreement.
- 3) Tenant's roof plan drawings set forth in Exhibit 3 and Exhibit 1-3 shall hereby be deleted in their entirety as of the date this Fourth Amendment is fully executed and shall be replaced with Exhibit 2-4 attached hereto and incorporated by this

reference. Exhibit 2-4 is attached to show the space designated at Tenant's Subleased Premises.

4) **Access:**

(a) *Generally*. Notwithstanding anything to the contrary in the Agreement, the Parties acknowledge that Tenant, and its agents, contractors, and subcontractors (collectively for the purpose of this section 6 referred to as "***Tenant Parties***") shall abide by the following access conditions and procedures when accessing the Property:

(1) **If Tenant Parties are accessing the Property from 7:00 am-9:00 pm (eastern standard time) (in non-emergency situations, without notice)**

Tenant Parties may access the Property provided Tenant Parties comply with the following procedures:

- (i) present an identification (company or driver's license) to security guard at front desk
- (ii) provide a Code (as defined below) to the security guard at front desk;
- (iii) sign into a log book kept at front desk, indicating name, job title and employer, and identifying they are at the Property on behalf of Tenant

(2) **If Tenant Parties are accessing the Property from 9:00 pm-7:00am (eastern standard time) (in emergency situations, access with notice as set forth below)**

Tenant Parties may access the Property provided Tenant Parties comply with the following procedures:

- (i) Tenant notifies Landlord's NOC;
- (ii) present an identification (company or driver's license) to security guard at front desk
- (iii) provide a Code (as defined below) to the security guard at front desk;
- (iv) sign into a log book kept at front desk, indicating name, job title and employer, and identifying they are at the Property on behalf of Tenant

(3) **If Tenant Parties are accessing the Property from 9:00 pm-7:00am (eastern standard time) (in non-emergency situations, access with notice as set forth below)**

Tenant Parties may access the Property provided Tenant Parties comply with the following procedures:

- (i) 24 hour advance notice to Landlord pursuant to Landlord's then current rooftop access procedures;

- (ii) present an identification (company or driver's license) to security guard at front desk
- (iii) provide the Code, as defined below to security guard at front desk
- (iv) sign into a log book kept at front desk, indicating name, job title and employer, and for which carrier they're performing work

For purposes of this section 4, the Code is a password that Tenant Parties must provide to the security guard at the front desk in order to gain access to the Property. The Code may be reset by the Property owner Tuchman Associates II, LLC (the "**Owner**") from time to time. Upon request of Tenant, Landlord will provide the current Code to Tenant. The Code may only be given by Tenant to Tenant Parties and it may not be shared with any other third parties.

- (b) *Future Modifications to Access Procedures.* Tenant agrees that (i) if the access conditions set forth above are modified by the Landlord and/or Owner at any time following the full execution of this Fourth Amendment and (ii) Tenant is notified of said access change(s), then Tenant agrees to comply with the modified access procedures.
- 5) Tenant and Tenant's contractors and subcontractors shall cause Landlord and its parent entity American Tower Corporation, the Owner, and Owner's property manager, and such entities as required under the Easement or as may be required by Owner from time to time, to be included as additional insureds, by endorsement or otherwise, as their interests may appear under all policies of insurance described in the Agreement, except workers' compensation.
  - 6) Capitalized terms contained herein, unless otherwise defined, are intended to have the same meaning and effect as that set forth in the Agreement.
  - 7) **Merger.** Except as modified by this Fourth Amendment, the Agreement and all the covenants, agreements, terms, provisions and conditions thereof shall remain in full force and effect and are hereby ratified and affirmed. The covenants, agreements, terms, provisions and conditions contained in this Fourth Amendment shall bind and inure to the benefit of the parties hereto and their respective successors and permitted assigns. In the event of a conflict between the terms contained in this Fourth Amendment and the Agreement, the terms herein contained shall supersede and control the obligations and liabilities of the Parties.

[SIGNATURES APPEAR ON THE NEXT PAGE]

[REMAINDER OF PAGE LEFT BLANK INTENTIONALLY]

**IN WITNESS WHEREOF**, the Parties hereto have set their hands and seals to this Fourth Amendment to that certain Sublease Agreement as of the day and year written below:

LANDLORD:  
Cell Tower Lease Acquisition LLC,  
a Delaware limited liability company

CTC:  
New Cingular Wireless PCS, LLC, a  
Delaware limited liability company

By: AT&T Mobility Corporation  
Its: Manager

By: L Aliperta  
Name: Lisa Aliperta  
Title: Vice President, Finance  
Date: 10/14/16

By: Gregg E Bailey  
Name: Gregg Bailey  
Title: Area Manager – C&E  
Date: 9/30/16

TENANT Site Name/ Number/ FA#: Meadow Lake / NYNYNY0652 / 10075049

**Exhibit 2-4**

*See attached site roof plan*







**Malick Schere**  
 Consulting Engineers, Architects and Planners, Inc.  
 55 Frontage Road, Suite 2  
 Hightstown, NJ 08520  
 P: 609.537.1383 FAX: 609.537.1384  
 E: malick@malickschere.com



**DR. E. SCHWARTZ**  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 12-20000000000000000000  
 EXPIRES 12/31/2014  
 CONTRACT NO. 14-00000000000000000000  
 SHEET NO. 2 OF 2



**at**  
 ARCHITECTURAL TECHNOLOGY  
 5900 HERSCOG ROAD, SUITE 200  
 HIGHTSTOWN, NJ 08520  
 P: 609.426.1234 FAX: 609.426.1235  
 E: info@atnj.com

NO.	DOB	DESCRIPTIONS	0
4	DOB	DESCRIPTIONS	0
3	POST FDNY APPROVAL		0
2	DOB COMMENTS		0
1	ISSUE OR REVISION		0

APPLICANT:  
 PROJECT TITLE:  
 CONSTRUCTION DOCU  
 SITE #:  
 NNYNY0652

SITE NAME:  
 MEADOW LAKE  
 SITE ADDRESS:  
 111-026 CORDONA AVE  
 QUEENSBURY, NY 11356

MMS PROJECT #: 1552

SCALE AS NOTED DATE

DRAWN BY: SC CHECK

DRAWING TITLE:

GENERAL NOTES

DRAWING NO.: PAK  
 ANT-001.00 2

INVEST TABLE	CODE PRESCRIBED VALUE AND CITATION	PROPOSED DESIGN VALUE
WORK ITEMS BUILDING DEVELOPER REQUIREMENTS:		
WALKS ABOVE GRADE	NO CHANGE	N/A
WALKS BELOW GRADE	NO CHANGE	N/A
BUILDING MECHANICAL SYSTEMS:		
WALKS SYSTEMS	NO CHANGE	N/A
DUCT AND PLUMBING INSULATION	NO CHANGE	N/A
PIPE INSULATION	NO CHANGE	N/A
ELECTRICAL POWER AND LIGHTING SYSTEMS:		
EFT TRIM	NO CHANGE	N/A
EXTERIOR LIGHTING	NO CHANGE	N/A

**TENANT PROTECTION PLAN (2014 NYC CODE §28-104.8.4)**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS TO COMPLETE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER OF ANY CONSTRUCTION STAGES WHICH REQUIRE SPECIAL OR CONTROLLED INSPECTIONS WITH A MINIMUM OF 48 HOURS (2 BUSINESS DAYS) NOTICE. THESE INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE REMOVAL, CONCRETE CURING, EPOXY APPLICATIONS, FAILURE TO COORDINATE THESE INSPECTIONS WITH THE ENGINEER MAY PROHIBIT SUFFICIENT WITH THE AUTHORITY HAVING JURISDICTION.
3. CONTRACTOR SHALL PROVIDE ENGINEER WITH PHOTOGRAPHS FOR EACH STAGE OF CONSTRUCTION. THE PHOTOGRAPHS SHALL INCLUDE, BUT ARE NOT LIMITED TO, BEAM POCKETS & PEDESTAL CONNECTIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY DURING CONSTRUCTION. THE ENGINEER HAS NO RESPONSIBILITY FOR CONTROL OVER SAFETY AT ANY TIME.
5. THE ENGINEER HAS NOT PERFORMED AN INSPECTION FOR ASBESTOS OR OTHER HAZARDOUS MATERIALS. THESE DRAWINGS ARE NOT MEANT TO DETECT OR IMPLY THE PRESENCE OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER ASBESTOS REMOVAL AND TRUE NORTH SHALL BE DETERMINED. CONTRACTOR IS RESPONSIBLE FOR PROPER ALIGNMENT.
6. THE CONTRACTOR SHALL CONTACT THE TELECOMMUNICATIONS CARRIER TO ACQUIRE THE LATEST RF DATA SHEET PRIOR TO THE START OF CONSTRUCTION. RF INFORMATION ISSUED BY THE TELECOMMUNICATIONS CARRIER SUPERSEDES INFORMATION CONTAINED HEREIN.
7. ROUTING IS DIAGRAMMATIC AND CONTRACTOR IS TO UTILIZE BEST POSSIBLE ROUTING TO AVOID ALL PENETRATIONS. ROUTING SHALL NOT IMPED UPON REQUIRED PENETRATIONS OR MEANS OF EGRESS.
8. THE CONTRACTOR SHALL PROVIDE NEW PENETRATIONS FOR ROUTING THROUGH FIRE PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE FIRE RATING OF BUILDING COMPONENTS IF EXISTING PENETRATIONS ARE USED FOR NEW ROUTING.
9. ALL DISTURBED AREAS SHALL BE REPAIRED TO MATCH EXISTING ADJACENT, INCLUDING ANY DISTURBANCE TO ROOFING, FLASHINGS OR ANY EXTERIOR SURFACE SHALL BE REPAIRED/RESEAL WATER-TIGHT AND IN ACCORDANCE WITH ANY WARRANTIES AS APPLICABLE. THE GENERAL CONTRACTOR SHALL EMPLOY THE WARRANTY GRANTOR OR MANUFACTURER'S AUTHORIZED CONTRACTOR, WHERE REQUIRED FOR MAINTENANCE OF THE WARRANTY.
10. THE PERIMETER AND ANCHORS OF ALL RETEL TO CONCRETE OR MASONRY MASONRY SEALANT. ALL SEALED WATER-TIGHT USING A PURPOSE FORMULATED.
11. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.

**FIRE CODE COMPLIANCE NOTES:**

1. THE NYC FIRE COMPLIANCE PLAN WAS DERIVED FROM THE 2014 NYC FIRE CODE SECTION FC 54.
2. THE NUMBER OF REQUIRED CLEARANCES AS SHOWN ON THE PLANS ALONG THE BUILDING PERIMETER MUST BE PROVIDED. THESE 6'-0" WIDE BY 6'-0" DEEP AREAS MUST BE CLEARED OF ALL OBSTRUCTIONS AND FURNITURE. THESE AREAS CONTRACT THE ENGINEER.
3. EACH DOOR OPENING ONTO THE ROOF FROM ANY OCCUPIED SPACE MUST HAVE A MINIMUM CLEARANCE OF 6'-0" IN ALL DIRECTIONS. THE 6'-0" SHALL BE MEASURED FROM THE HINGE OF EACH DOOR.
4. A MINIMUM CLEARANCE OF 3'-0" IN ALL DIRECTIONS SHALL BE PROVIDED FROM EACH SIDE OF EACH DOOR.
5. A CLEAR PATH AS SHOWN ON THE PLANS SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE ROOF. THE CLEAR PATH SHALL BE A MINIMUM OF 6'-0" WIDE BY 6'-0" HIGH. THE ONLY PERMITTED OBSTRUCTION WITHIN THE CLEAR PATH SHALL BE A CONDUIT OR PIPE NOT TO EXCEED 1'-0" IN HEIGHT. CLEAR AREAS MUST BE ACCESSIBLE FROM ALL 5'-0" X 6'-0" PERIMETER CLEARANCES AS OUTLINED ABOVE.
6. ALL CONDUITS, CABLE TRAYS AND PIPING MUST BE INSTALLED ALONG THE PERIMETER TO THE BUILDING. ALL CONDUITS, CABLE TRAYS AND PIPING SHALL BE INSTALLED WITH A MINIMUM CLEARANCE OF 1'-0" IN HEIGHT AT STEPS/RAMP SHALL BE PROVIDED. THIS STEPS/RAMP SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS AND SHALL BE EQUIPPED WITH RAILINGS.
7. ALL CONDUITS AND PIPING INSTALLATIONS ON THE ROOF TOP SHALL BE COLOR CODED WITH CONTINUOUS DURABLE AND WEATHERPROOF REPEATING REFLECTIVE OR LUMINESCENT MARKINGS:  
 - HIGH VOLTAGE CONDUITS - RED  
 - TELECONDUITS, ALARMS CONDUITS & COAX CABLES - ORANGE  
 - NATURAL GAS PIPING - YELLOW  
 - FUEL OIL PIPING - YELLOW WITH BLACK STRIPES  
 - REGULAR INTERVALS WITH THE TYPE OF GAS  
 - ALL TRANSMITTING ANTENNAS (NEWLY INSTALLED) SHALL BE IDENTIFIED AS "TRANSMITTER". THE TRANSMITTER SIGN SHALL BE AFFIXED TO THE ANTENNA. ANTENNA MOUNT OR A SIGN SHALL BE IDENTIFIED AS "ANTENNA". ANTENNAS OR MOUNTS SHOULD BE MADE OF DURABLE AND WEATHERPROOF REFLECTIVE/LUMINESCENT 3" TALL LETTERING.
8. A DURABLE SIGN SHALL BE CONSPICUOUSLY POSTED NEAR ANY EQUIPMENT CLOSET, ROOF BASE STATION AND SIMILAR EQUIPMENT. THE SIGN SHALL BE MADE OF DURABLE AND WEATHERPROOF REFLECTIVE/LUMINESCENT 3" TALL LETTERING.
9. A CLEAR PATH AS SHOWN ON THE PLANS SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE ROOF. THE CLEAR PATH SHALL BE A MINIMUM OF 6'-0" WIDE BY 6'-0" HIGH. THE ONLY PERMITTED OBSTRUCTION WITHIN THE CLEAR PATH SHALL BE A CONDUIT OR PIPE NOT TO EXCEED 1'-0" IN HEIGHT. CLEAR AREAS MUST BE ACCESSIBLE FROM ALL 5'-0" X 6'-0" PERIMETER CLEARANCES AS OUTLINED ABOVE.

GENERAL NOTES:  
 1. THE NOTES CONTAINED HEREIN ARE NOT PROJECT SPECIFIC. THE CONTRACTOR SHALL UTILIZE ALL THE NOTES WHERE PERTINENT TO THE WORK DESCRIBED IN THIS PLAN SET.  
 2. THE CONTRACTOR SHALL CONTACT MAS TO VERIFY THAT THEY HAVE BEEN ISSUED THE DIVISION OF THE CONSTRUCTION DOCUMENTS PRIOR TO THE START OF CONSTRUCTION.  
 3. ALL DIMENSIONS AND INFORMATION SHOWN IN THE DRAWINGS ARE DERIVED FROM THE CONTRACTOR'S FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING FOR SPECIFIC WORK AREAS. THIS INFORMATION IS TO BE USED FOR THE WORK SHOWN ON THESE PLANS ONLY.  
 4. UNLESS SPECIFICALLY REQUESTED BY THE CLIENT OR REQUIRED TO PROCEED WITH THE CREATION OF THE CONSTRUCTION DOCUMENTS, STRUCTURAL PROFILES HAVE NOT BEEN FIELD SURVEYED. SURFACE FINISHES MAY VARY AND SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES, WHETHER IN CONFIGURATION OR CONDITION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.  
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE ATTENTION OF THE ENGINEER. THE CONSEQUENCES OF PROCEEDING WITH CONSTRUCTION AFTER DISCOVERING A FIELD CONDITION DISCREPANCY AND WITHOUT THE APPROVAL OR RECOMMENDATIONS OF THE ENGINEER, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
 6. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.  
 7. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS AND INSPECTIONS TO COMPLETE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL.  
 8. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER OF ANY CONSTRUCTION STAGES WHICH REQUIRE SPECIAL OR CONTROLLED INSPECTIONS WITH A MINIMUM OF 48 HOURS (2 BUSINESS DAYS) NOTICE. THESE INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE REMOVAL, CONCRETE CURING, EPOXY APPLICATIONS, FAILURE TO COORDINATE THESE INSPECTIONS WITH THE ENGINEER MAY PROHIBIT SUFFICIENT WITH THE AUTHORITY HAVING JURISDICTION.  
 9. CONTRACTOR SHALL PROVIDE ENGINEER WITH PHOTOGRAPHS FOR EACH STAGE OF CONSTRUCTION. THE PHOTOGRAPHS SHALL INCLUDE, BUT ARE NOT LIMITED TO, BEAM POCKETS & PEDESTAL CONNECTIONS.  
 10. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY DURING CONSTRUCTION. THE ENGINEER HAS NO RESPONSIBILITY FOR CONTROL OVER SAFETY AT ANY TIME.  
 11. THE ENGINEER HAS NOT PERFORMED AN INSPECTION FOR ASBESTOS OR OTHER HAZARDOUS MATERIALS. THESE DRAWINGS ARE NOT MEANT TO DETECT OR IMPLY THE PRESENCE OF ASBESTOS OR OTHER HAZARDOUS MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER ASBESTOS REMOVAL AND TRUE NORTH SHALL BE DETERMINED. CONTRACTOR IS RESPONSIBLE FOR PROPER ALIGNMENT.  
 12. THE CONTRACTOR SHALL CONTACT THE TELECOMMUNICATIONS CARRIER TO ACQUIRE THE LATEST RF DATA SHEET PRIOR TO THE START OF CONSTRUCTION. RF INFORMATION ISSUED BY THE TELECOMMUNICATIONS CARRIER SUPERSEDES INFORMATION CONTAINED HEREIN.  
 13. ROUTING IS DIAGRAMMATIC AND CONTRACTOR IS TO UTILIZE BEST POSSIBLE ROUTING TO AVOID ALL PENETRATIONS. ROUTING SHALL NOT IMPED UPON REQUIRED PENETRATIONS OR MEANS OF EGRESS.  
 14. THE CONTRACTOR SHALL PROVIDE NEW PENETRATIONS FOR ROUTING THROUGH FIRE PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE FIRE RATING OF BUILDING COMPONENTS IF EXISTING PENETRATIONS ARE USED FOR NEW ROUTING.  
 15. ALL DISTURBED AREAS SHALL BE REPAIRED TO MATCH EXISTING ADJACENT, INCLUDING ANY DISTURBANCE TO ROOFING, FLASHINGS OR ANY EXTERIOR SURFACE SHALL BE REPAIRED/RESEAL WATER-TIGHT AND IN ACCORDANCE WITH ANY WARRANTIES AS APPLICABLE. THE GENERAL CONTRACTOR SHALL EMPLOY THE WARRANTY GRANTOR OR MANUFACTURER'S AUTHORIZED CONTRACTOR, WHERE REQUIRED FOR MAINTENANCE OF THE WARRANTY.  
 16. THE PERIMETER AND ANCHORS OF ALL RETEL TO CONCRETE OR MASONRY MASONRY SEALANT. ALL SEALED WATER-TIGHT USING A PURPOSE FORMULATED.  
 17. CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE ABOVE DATA.

APPLICANT:  
 PROJECT TITLE:  
 CONSTRUCTION DOCU  
 SITE #:  
 NNYNY0652

SITE NAME:  
 MEADOW LAKE  
 SITE ADDRESS:  
 111-026 CORDONA AVE  
 QUEENSBURY, NY 11356

MMS PROJECT #: 1552

SCALE AS NOTED DATE

DRAWN BY: SC CHECK

DRAWING TITLE:

GENERAL NOTES

DRAWING NO.: PAK  
 ANT-001.00 2



**Malicki Schere**  
 Consulting Engineers  
 53 Frigate Road, Suite 2  
 Hampton, NJ 08827  
 PH: 908-761-1111  
 FAX: 908-761-1112



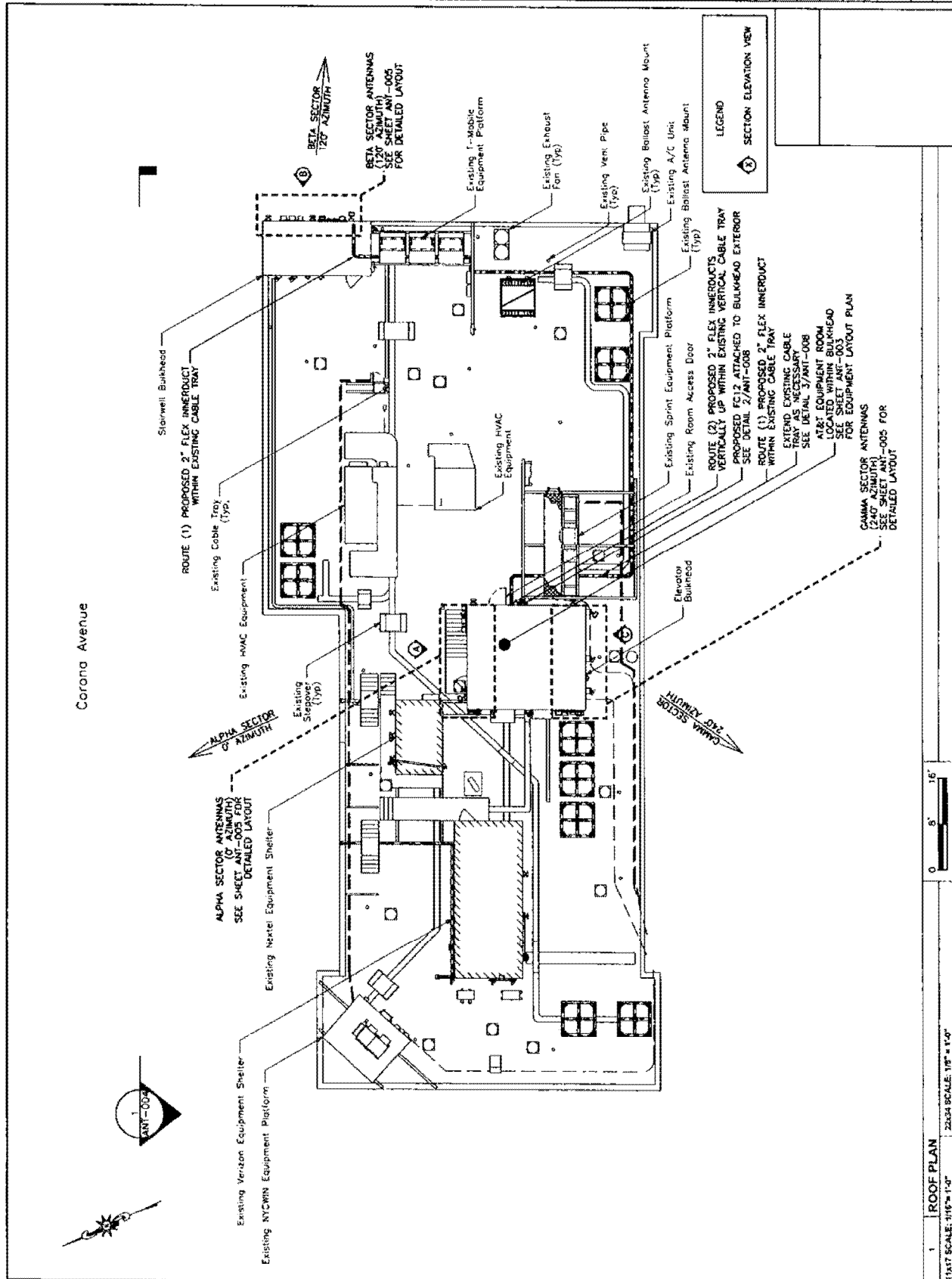
APPLICANT:  
 AT&T  
 100 WEST STREET, 15TH FLOOR  
 NEW YORK, NY 10038

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3	PORT TONY APPROVAL	0
2	DOB COMMENTS	0
1	ISSUE OR REVISION	

PROJECT TITLE  
 CONSTRUCTION DOCU

SITE #	N7N7Y0662
SITE NAME	MEADOW LAKE
SITE ADDRESS	111-26 CORONA AVE QUEENS, NY 11384
M&S PROJECT #	1552
SCALE	AS NOTED
DRAWN BY	SC
CHECK	
DATE	
DRAWING TITLE:	
ROOF PLAN	

DRAWING NO.	ANT-002.00
PAK	3





**Mallick & Scherle**  
 Consulting Engineers & Architects  
 51 Pringle Street, Suite 100  
 New Rochelle, NY 10801  
 Tel: (914) 235-1000  
 Fax: (914) 235-1001



FOR C.C. ENGINEER  
 STATE OF NEW YORK  
 LICENSE NO. 10462  
 PLEASE PRINT NAME, LICENSE NO., SIGNATURE AND SEAL. DO NOT SIGN UNLESS YOU ARE A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK.



550 MERRICK ROAD, SUIT 117  
 MASSAPEQUA, NY 11758



CONTRACT NO. 111-26 CORONA AVE. QUEENS, NY 11358

4	DOB OBJECTIONS	C
3	POST PDNY APPROVAL	C
2	DOB COMMENTS	C
1	ISSUE OR REVISION	

PROJECT TITLE  
 CONSTRUCTION DOCL

SITE #:  
 NYNYNY0652

SITE NAME:  
 MEADOW LAKE

SITE ADDRESS:  
 111-26 CORONA AVE.  
 QUEENS, NY 11358

M&S PROJECT #:  
 1552

SCALE: AS NOTED

DATE

CHECKED

DRAWN BY: SC

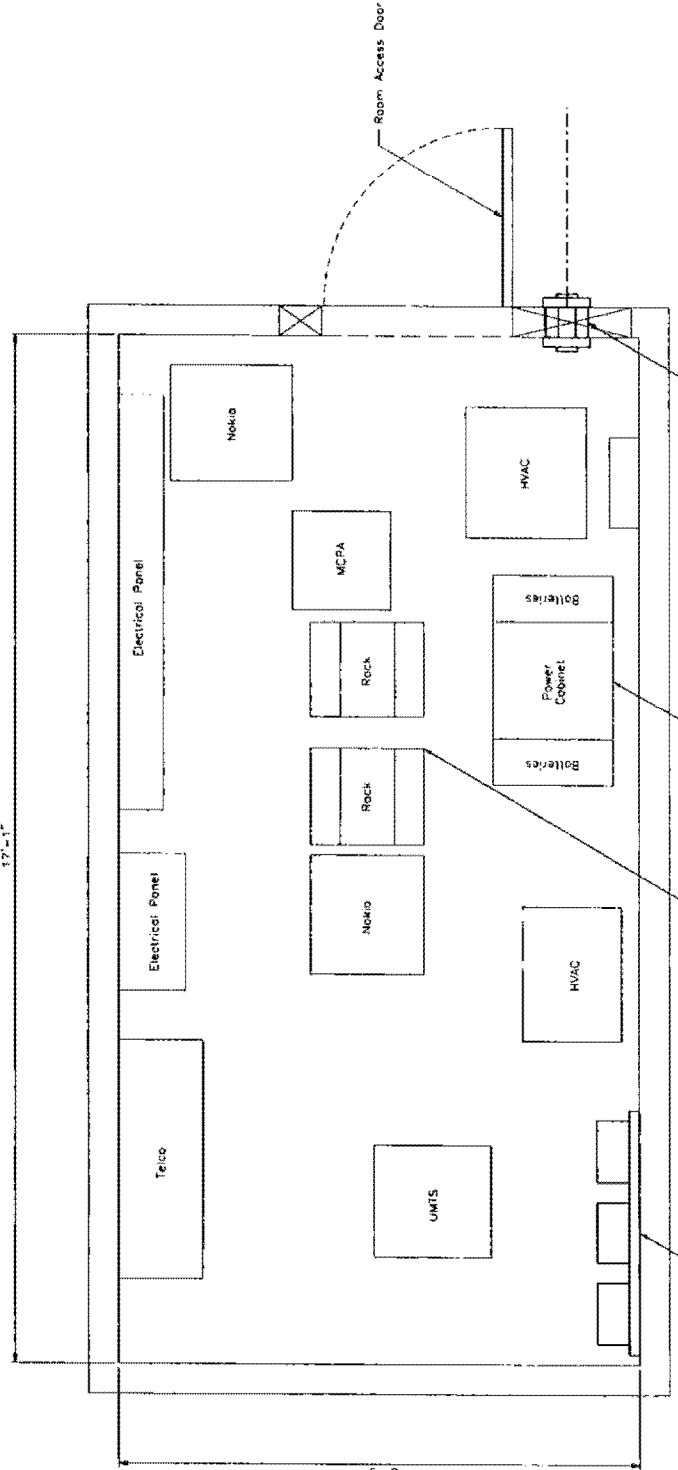
DRAWING TITLE:  
 EQUIPMENT LAYOUT  
 PLAN

DRAWING NO.: PA1  
 ANT-003.00

SHEET NO.: 4

NOTES:  
 \*WHERE ARE NO OTHER SCOPES PENDING, NEED (2) ADDITIONAL 24-TO-48 CONVERTERS.  
 1) FULL GSM REMOVAL; REQUIRED PER AT&T 2016-10 GSM TURNDOWN LIST.  
 2) ADD 24-TO-48 CONVERTER EXPANSION SHELF TO EXISTING TELCO RACK AND CONNECT TO EXISTING CONVERTER SHELF.  
 3) FOR ALPHA SECTORS, INSTALL (2) NEW DPLEXERS MODEL JCSB78-DF FOR BETA AND GAMMA SECTORS. (2) EXISTING DPLEXERS WITH (2) DPLEXERS MODEL JCSB78-DF PER SECTOR.

EQUIPMENT CHART		
EQUIPMENT	EXISTING	REQUIRED
RECTIFIERS	9	7
48V CONVERTERS	3	5



INSTALL (1) 3 PORT CABLE ENTRY PANEL BELOW EXISTING CABLE ENTRY PANEL. SEE PRO 1 PART # E1839

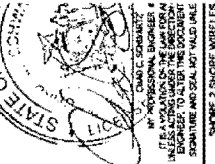
INSTALL (1) PROPOSED DCS AND (1) FIBER MANAGEMENT TRAY WITHIN EXISTING RACK

INSTALL (3) 20 AMP BREAKERS FOR 3C WGS  
 (3) 15 AMP BREAKERS FOR 4C/700 D&E AND  
 (3) 20 AMP BREAKERS FOR RETROFIT WITHIN EXISTING POWER CABINET

(3) PROPOSED 700 MMX DE BRM UNITS ATTACHED TO PROPOSED UNISTRUT RACK ATTACHED TO EQUIPMENT ROOM WALL SEE DETAIL 1/ANT-008



EQUIPMENT LAYOUT PLAN  
 1/17 SCALE: 1/2" = 1'-0"  
 22A4 SCALE: 1" = 1'-0"



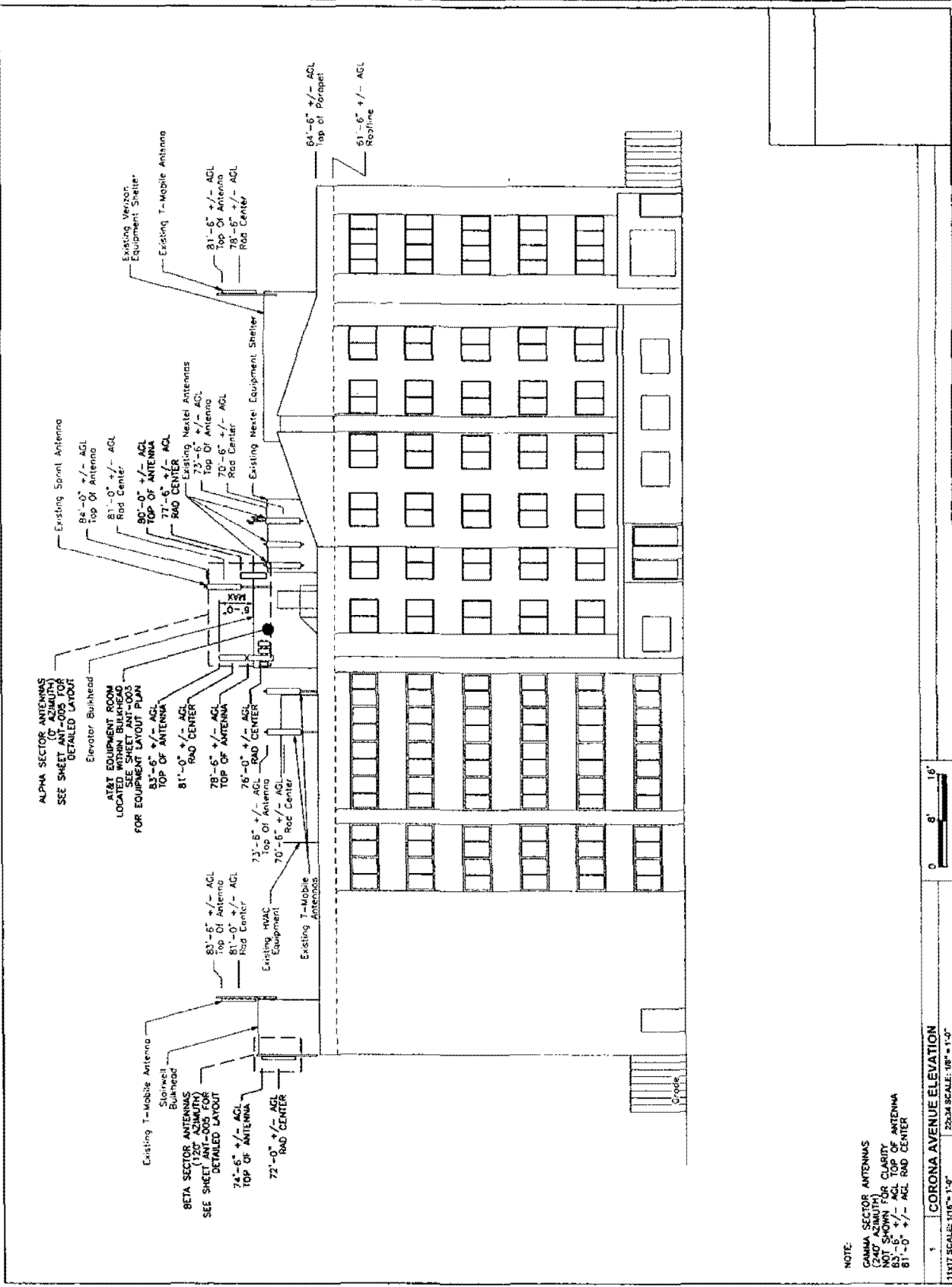
NO.	ISSUE OR REVISION
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2	ISSUE FOR APPROVAL
3	POST FONIX APPROVAL
4	DOB OBJECTIONS

PROJECT TITLE	CONSTRUCTION DOCL
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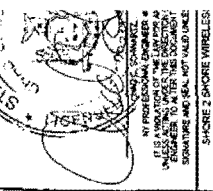
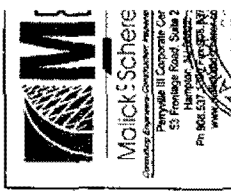
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 NYNY0652  
 SITE NAME:  
 MEADOW LAKE  
 SITE ADDRESS:  
 111-26 CORONA AVE  
 QUEENS, NY 11368

SCALE AS NOTED	DATE
DRAWN BY: SC	CHECK
DRAWING TITLE:	

ELEVATION	
DRAWING NO.:	PA1
ANT-004.00	



1 CORONA AVENUE ELEVATION  
 1/4" = 1'-0" SCALE: 1/8" = 1'-0"



APPLICANT:

NO.	ISSUE OR REVISION
1	ISSUE FOR CONSTRUCTION
2	DCR COMMENTS
3	POST FDNY APPROVAL
4	DCR DEFECTIONS

PROJECT TITLE  
CONSTRUCTION DOCU

SITE #  
NWNV0862  
SITE NAME:  
MEADOW LAKE  
SITE ADDRESS:  
11126 CORDONA AVE  
JULIENS, NY 11384

M&S PROJECT # 1552  
SCALE: AS NOTED DATE  
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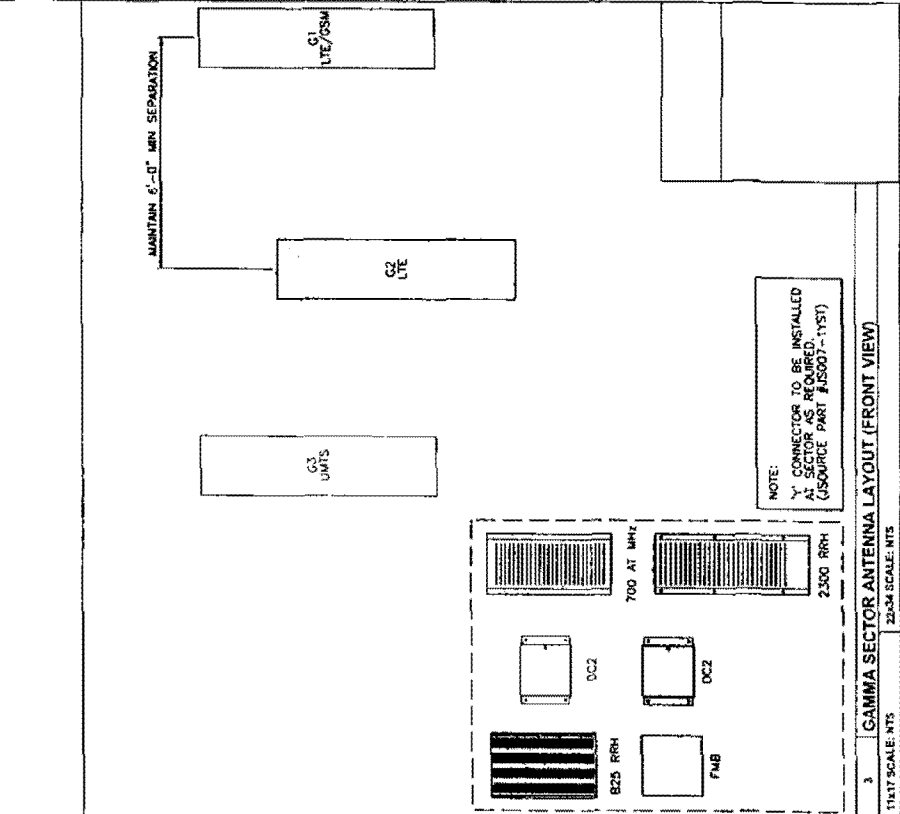
EXISTING AND PROPOSED ANTENNA LAYOUT  
DRAWING NO.: PAC  
ANT-005.00 6

**EQUIPMENT LEGEND**

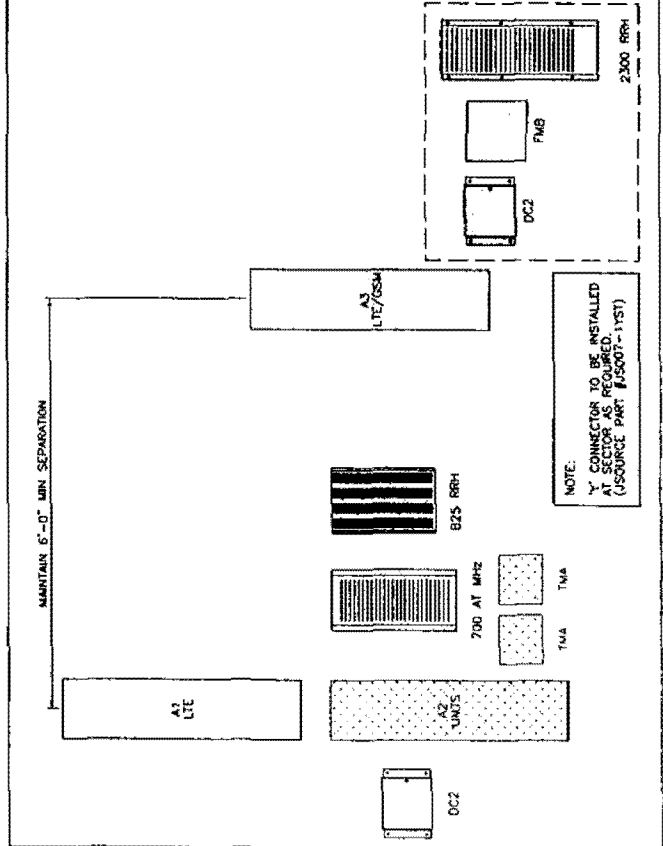
[Blank Box]	EXISTING TO REMAIN
[Hatched Box]	RELOCATED EXISTING
[Dotted Box]	PROPOSED
[Cross-hatched Box]	REPLACED

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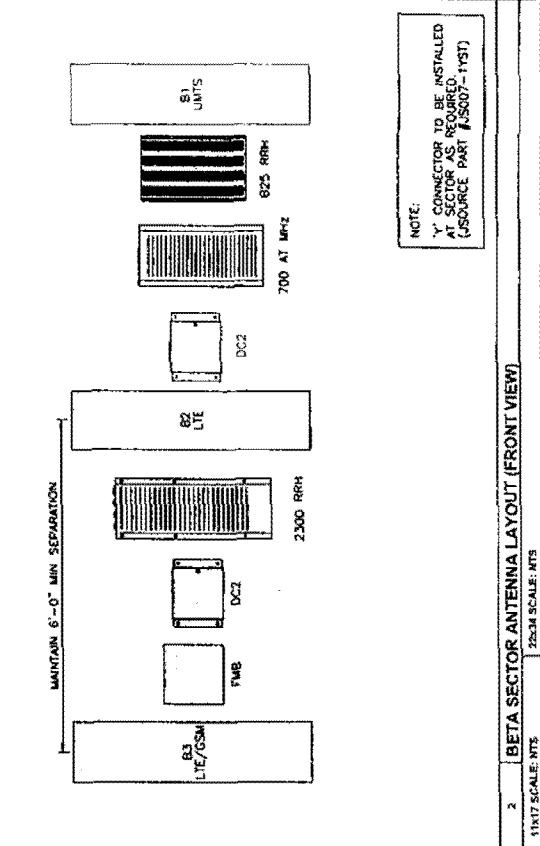
- ATTACH (1) PROPOSED 2300 RRH UNIT, (1) DC2 UNIT, (1) ADDITIONAL VERTICAL UNISTRUT PILE FOR AS REQUIRED. REPLACE EXISTING 700 RRH FOR PROPOSED 700 AT RRH AT ALL SECTORS. SEE DETAIL 2/ANT-008
- CONTRACTOR TO REPAIR ALL CRACKING WITHIN 5'-0" OF ANY AT&T MOUNTING ATTACHMENT.
- FLEX INNERDUCT TO BE FIELD MEASURED BY CONTRACTOR PRIOR TO ORDERING MATERIALS.
- REPLACE EXISTING GSM ANTENNA WITH PROPOSED LTE/GSM ANTENNA AT ALL SECTORS.
- EXISTING LTE ANTENNA AND PROPOSED GSM/LTE ANTENNA TO BE SEPARATED BY MINIMUM 6".
- REMOVE (2) TMA PER SECTOR, ASSOCIATED WITH THE GSM ANTENNA.



3 **GAMMA SECTOR ANTENNA LAYOUT (FRONT VIEW)**  
11x17 SCALE: NTS 2x34 SCALE: NTS



1 **ALPHA SECTOR ANTENNA LAYOUT (FRONT VIEW)**  
11x17 SCALE: NTS 2x34 SCALE: NTS



2 **BETA SECTOR ANTENNA LAYOUT (FRONT VIEW)**  
11x17 SCALE: NTS 2x34 SCALE: NTS



**Malick's Schere**  
 COMMERCIAL CONTRACTORS  
 51 Fremont Road, Suite 2  
 Haddonfield, NJ 08033  
 PH 856.331.5555 FAX 856.331.5557  
 WWW.MALICKSSCHERE.COM



DONALD TORWITZ  
 STATE OF NEW JERSEY  
 1. BY PROVISIONS OF THE UNIFORM COMMERCIAL CODE (UCC) ARTICLE 9, THE SIGNATURE OF THE APPLICANT SHALL BE DEEMED TO BE THE SIGNATURE OF THE APPLICANT.  
 2. THIS DOCUMENT IS NOT VALID UNLESS SIGNED BY THE APPLICANT.  
 3. SHORE 2 SMOKE WIRELESS

5560 HERRICK ROAD, SUITE 105  
 MASSAHOUCHE, NJ 07033  
 APPLICANT:



4	DOB OBJECTIONS	0
3	POST FONY APPROVAL	0
2	DOB COMMENTS	0
1	ISSUE OR REVISION	1

CONSTRUCTION DOCUMENTS

SITE #:  
 NYYNY0652

SITE NAME:  
 MEADOW LAKE

SITE ADDRESS:  
 111-26 CORONA AVENUE  
 QUEENS, NY 11368

M/S PROJECT #:  
 18524

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DATE:

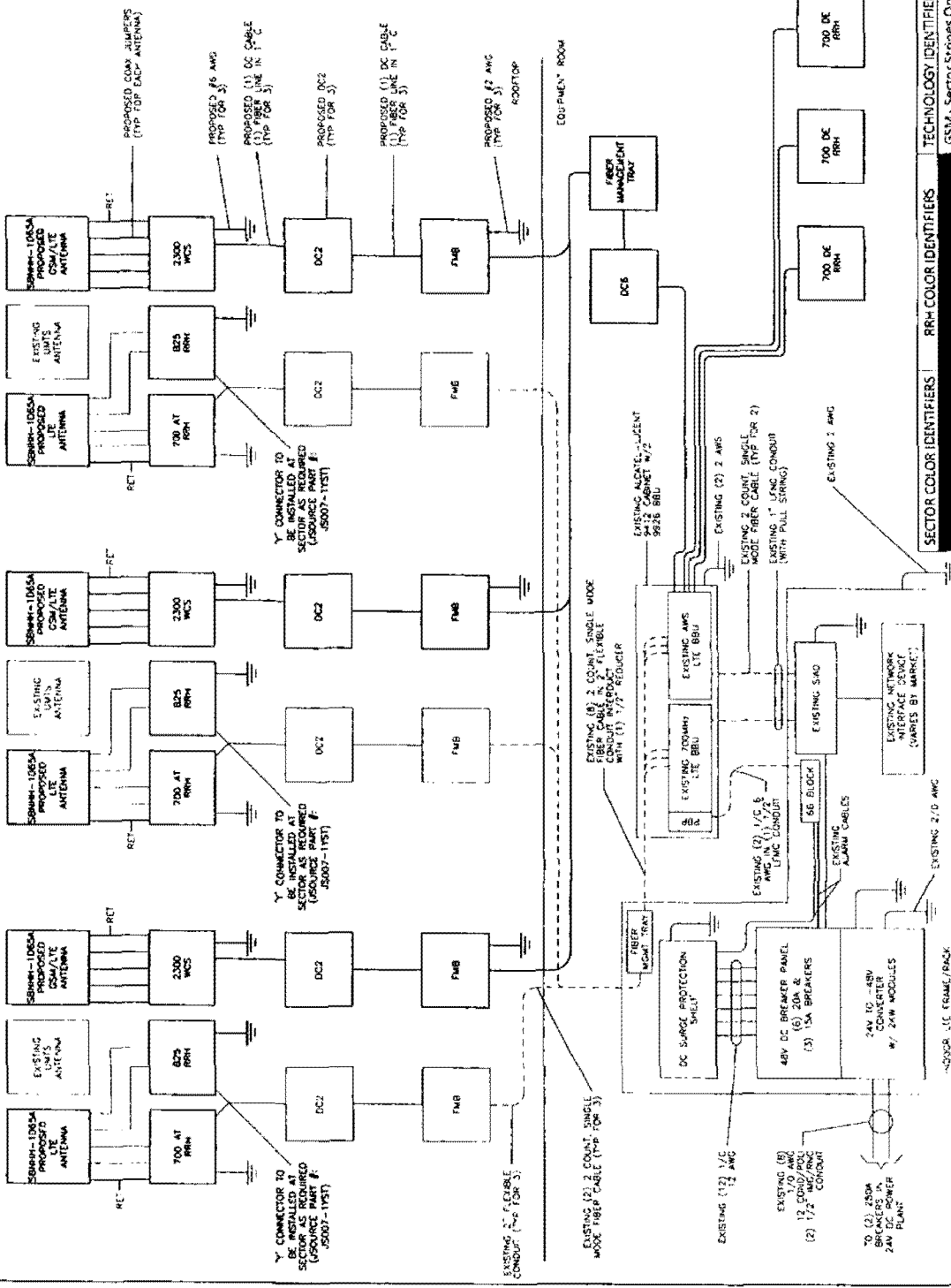
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 ANTENNA NOTES

DRAWING NO.:  
 ANT-006.00

PAGE:  
 7



SECTOR COLOR IDENTIFIERS		RRH COLOR IDENTIFIERS		TECHNOLOGY IDENTIFIERS	
Gamma - White	700B29 - (1) Yellow Stripe			GSM - Sector Stripes Only	
Epsilon - Yellow					



**Mallick Schiere**  
 Consulting Engineers, Architects & Planners, Inc.  
 51 Frongate Road, Suite 2  
 Hamden, NJ 08827  
 Tel: 908-528-5500, 908-528-5507  
 Fax: 908-528-5508, 908-528-5509



6900 WERRICK ROAD, SUITE 105  
 HUSBURG, NJ 07033  
 APPLICANT:

4	DOB OBJECTIONS	01
3	POST FORTY APPROVAL	01
2	DOB COMMENTS	01
NO.	ISSUE OR REVISION	1
PROJECT TITLE:		
CONSTRUCTION DOC#:		
SITE #: NYNYNY0652		
SITE NAME: MEADOW LAKE		
SITE ADDRESS: 111-26 CORONA AVENUE QUEENS, NY 11358		
HMS PROJECT #: 15523		
SCALE AS NOTED		DATE
DRAWN BY: SC		CHECK
DRAWING TITLE:		
EQUIPMENT DETAIL		
DRAWING NO.:		PAGE
ANT-002.00		8

**RAYCAP, DCE-48-50-84**  
 NOMINAL DISCHARGE CURRENT TO MA 8720A  
 NOMINAL OPERATING VOLTAGE 48 VDC  
 MAXIMUM CONTINUOUS OPERATING VOLTAGE 75 VDC  
 VOLTAGE PROTECTION RATING 480 V  
 TOTAL WEIGHT 31 lbs

4 **DC SURGE PROTECTOR (DCE-48-50-84)**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**ALCATEL-LUCENT BRH435-WCS**  
 COLOR: LIGHT GRAY  
 DIMENSIONS (INCH): 31.0" x 12" x 8.7" (WITH SOLAR SHIELD)  
 WEIGHT: 70 lbs WITHOUT MOUNTING HARDWARE  
 CONNECTOR: (2) PORTS 7/16 DIN FEMALE (50) OHMS  
 RF OUTPUT POWER: 200W OR 400W (87.5W)

5 **DC SURGE PROTECTOR (DC2-48-60-9-9E)**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**B25 BRH435-8R**  
 REMOTE RADIO HEAD  
 WEIGHT: 53.0 lbs (WITH SOLAR SHIELD)  
 DIMENSIONS: 18.7" x 12" x 8.7" (WITH SOLAR SHIELD)

9 **RAYCAP (FC12-PC5-10E)**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**PRODUCT SPECIFICATIONS:**  
**Jacourc Fiber Box**

Source Part No.: 77128-0001  
 AT&T Part No.:  
 Color: 1-091 Gray  
 Weight: 8.5 pounds  
 Dimensions:  
 Length: 17"  
 Width: 17"  
 Depth: 8"

3 **2300 RRH SPECIFICATIONS**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**ALCATEL-LUCENT RRH700-AI**  
 COLOR: LIGHT GRAY  
 DIMENSIONS (INCH): 25.2" x 12.2" x 8.7" (WITH SOLAR SHIELD)  
 WEIGHT: 52.5 lbs WITHOUT MOUNTING HARDWARE  
 CONNECTOR: (2) PORTS 7/16 DIN FEMALE  
 RF OUTPUT POWER: 240W

7 **700 MHZ AT RRH SPECIFICATION**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**ALCATEL-LUCENT RRH 2X40W-07L-DE**  
 COLOR: LIGHT GRAY  
 DIMENSIONS (INCH): 25.2" x 12.2" x 8.7" (WITH SOLAR SHIELD)  
 WEIGHT: 25 lbs WITHOUT MOUNTING HARDWARE  
 CONNECTOR: (2) OPTICAL PORTS  
 RF OUTPUT POWER: 240W

5 **700 DE RRH SPECIFICATION**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**ANDREW\_SBNHH-1D55A**  
 INSULATED MATERIAL FIBERGLASS IN REINFORCED  
 FINISH COLOR: LIGHT GRAY  
 WEIGHT: 40.82 lbs (WITHOUT MOUNTING BRACKET)  
 CONNECTOR: 7/16 DIN FEMALE

1 **ANTENNA SPECIFICATIONS**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**SECTOR FIBER MANAGEMENT BOX**  
 11x17 SCALE: NTS 22x34 SCALE: NTS

**700 MHZ AT RRH SPECIFICATION**  
 11x17 SCALE: NTS 22x34 SCALE: NTS



**Malick Scherer**  
Professional Engineers  
111-26 Corona Avenue  
Queens, NY 11368  
Tel: (718) 754-1100  
Fax: (718) 754-1101



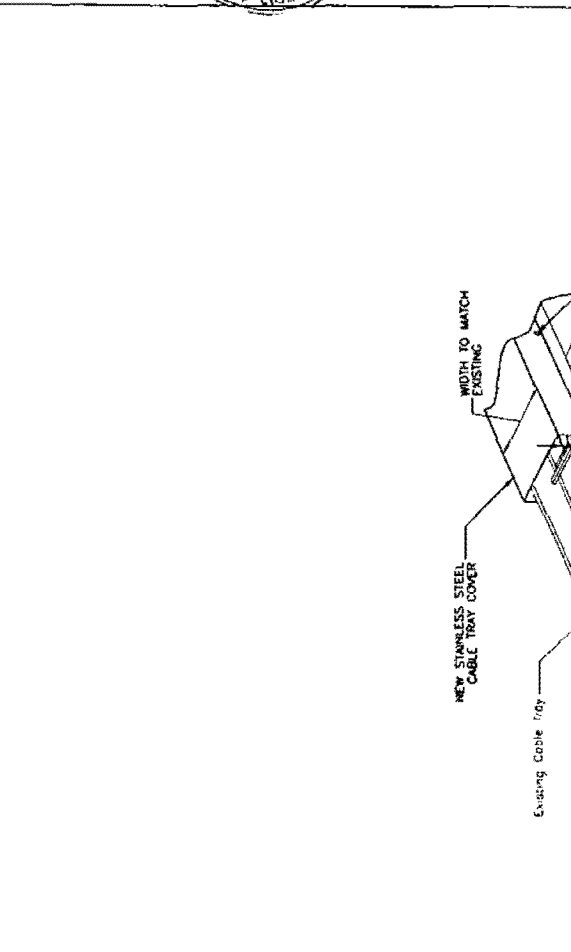
**at**  
1350 MERCER ROAD, SUITE 1100  
MASSAPEQUA, NY 11758  
APPLICANT

NO.	ISSUE OR REVISION	D
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2	FOR COMMENTS	06
3	FOR APPROVAL	08
4	FOR OBJECTIONS	08

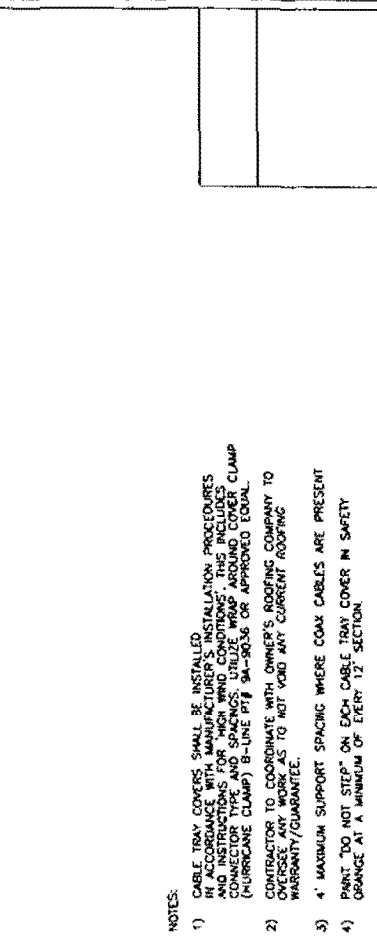
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CONSTRUCTION DOCUMENTS

**SITE #:** NYNYNY0652  
**SITE NAME:** MEADOW LAKE  
**SITE ADDRESS:** 111-26 CORONA AVENUE, QUEENS, NY 11368  
**NMS PROJECT #:** 15525  
**SCALE:** AS NOTED  
**DATE:**  
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**CHECKED:**

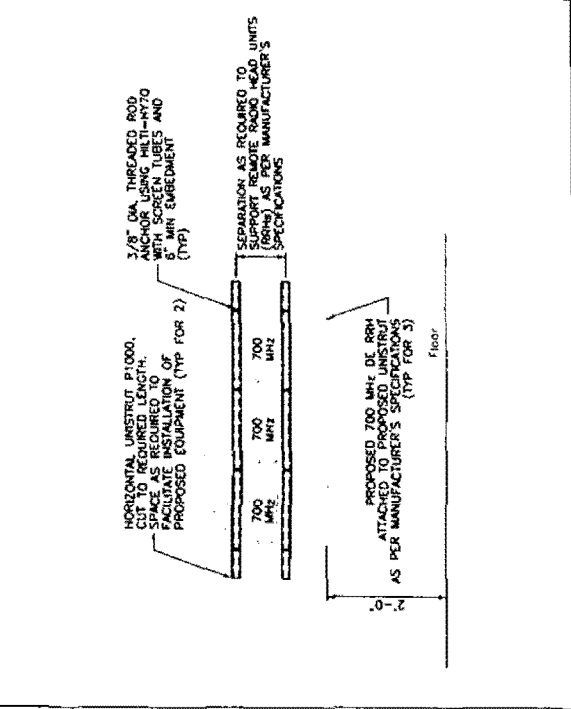
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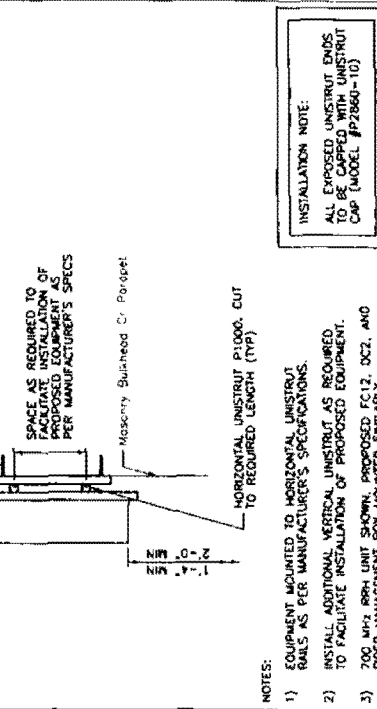
- NOTES:**
- CABLE TRAY COVERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION PROCEDURES AND INSTRUCTIONS FOR "WIND CONDITIONS". THIS INCLUDES CONNECTOR TYPE AND SPACING, UTILIZE WIPAC AROUND COVER CLAMP (PURCHASE CLAMP) 8-UNE P/N 84-9036 OR APPROVED EQUAL.
  - CONTRACTOR TO COORDINATE WITH OWNER'S ROOFING COMPANY TO OVERSEE ANY WORK AS TO NOT VOID ANY CURRENT ROOFING WARRANTY/GUARANTEE.
  - 4" MAXIMUM SUPPORT SPACING WHERE COAX CABLES ARE PRESENT
  - PART "DO NOT STEP" ON EACH CABLE TRAY COVER IN SAFETY ORANGE AT A MINIMUM OF EVERY 12' SECTION.



- RRH MOUNTING DETAIL (EQUIPMENT ROOM)**  
2024 SCALE: 1" = 1'-0"
- RRH/DC2/FIB/FC12 MOUNTING DETAIL**  
2024 SCALE: 1" = 1'-0"
- NOTES:**
- EQUIPMENT MOUNTED TO HORIZONTAL UNISTRUT RAILS AS PER MANUFACTURER'S SPECIFICATIONS.
  - INSTALL ADDITIONAL VERTICAL UNISTRUT AS REQUIRED TO FACILITATE INSTALLATION OF PROPOSED EQUIPMENT.
  - 700 MHz RRH UNIT SHOWN, PROPOSED FC12, DC2, AND FIBER MANAGEMENT BOX MOUNTED SIMILARLY.



- RRH MOUNTING DETAIL (EQUIPMENT ROOM)**  
2024 SCALE: 1" = 1'-0"
- RRH/DC2/FIB/FC12 MOUNTING DETAIL**  
2024 SCALE: 1" = 1'-0"
- NOTES:**
- EQUIPMENT MOUNTED TO HORIZONTAL UNISTRUT RAILS AS PER MANUFACTURER'S SPECIFICATIONS.
  - INSTALL ADDITIONAL VERTICAL UNISTRUT AS REQUIRED TO FACILITATE INSTALLATION OF PROPOSED EQUIPMENT.
  - 700 MHz RRH UNIT SHOWN, PROPOSED FC12, DC2, AND FIBER MANAGEMENT BOX MOUNTED SIMILARLY.



- RRH MOUNTING DETAIL (EQUIPMENT ROOM)**  
2024 SCALE: 1" = 1'-0"
- RRH/DC2/FIB/FC12 MOUNTING DETAIL**  
2024 SCALE: 1" = 1'-0"
- NOTES:**
- EQUIPMENT MOUNTED TO HORIZONTAL UNISTRUT RAILS AS PER MANUFACTURER'S SPECIFICATIONS.
  - INSTALL ADDITIONAL VERTICAL UNISTRUT AS REQUIRED TO FACILITATE INSTALLATION OF PROPOSED EQUIPMENT.
  - 700 MHz RRH UNIT SHOWN, PROPOSED FC12, DC2, AND FIBER MANAGEMENT BOX MOUNTED SIMILARLY.







**Malick & Schere**  
Professional Engineers  
35 Franklin Avenue, Suite 200  
New York, NY 10012  
Tel: (212) 691-1100  
Fax: (212) 691-1101



STATE OF NEW YORK  
DIVISION OF CONSTRUCTION  
OFFICE OF THE STATE ENGINEER  
119 WEST STREET, 15TH FLOOR  
ALBANY, NY 12242  
WWW.STATEENGINEER.NY.GOV



STATE OF NEW YORK  
DIVISION OF CONSTRUCTION  
OFFICE OF THE STATE ENGINEER  
119 WEST STREET, 15TH FLOOR  
ALBANY, NY 12242  
WWW.STATEENGINEER.NY.GOV



APPLICANT:  
555 JAMES STREET, 15TH FLOOR  
ALBANY, NY 12242

NO.	ISSUE OR REVISION
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3	POST FINNY APPROVAL 1 0
2	DOB COMMENTS 0

PROJECT TITLE	CONSTRUCTION DOCU
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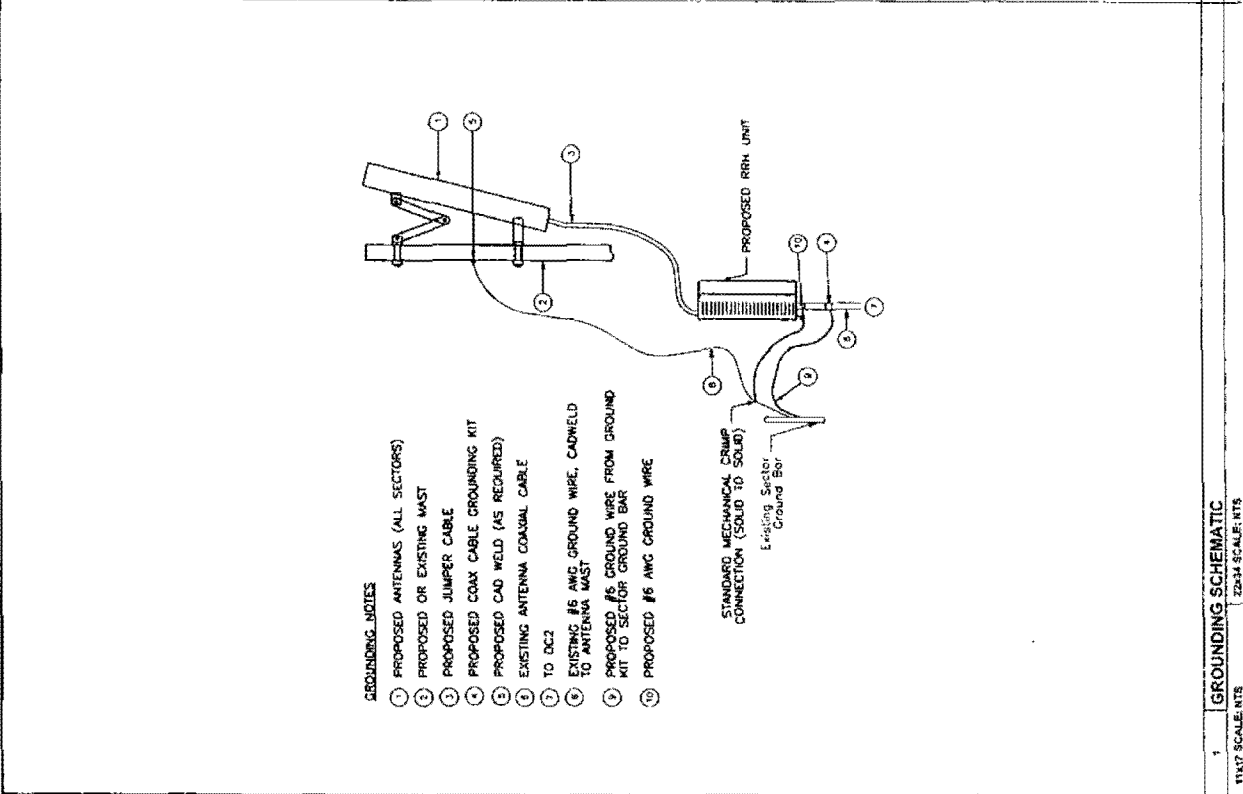
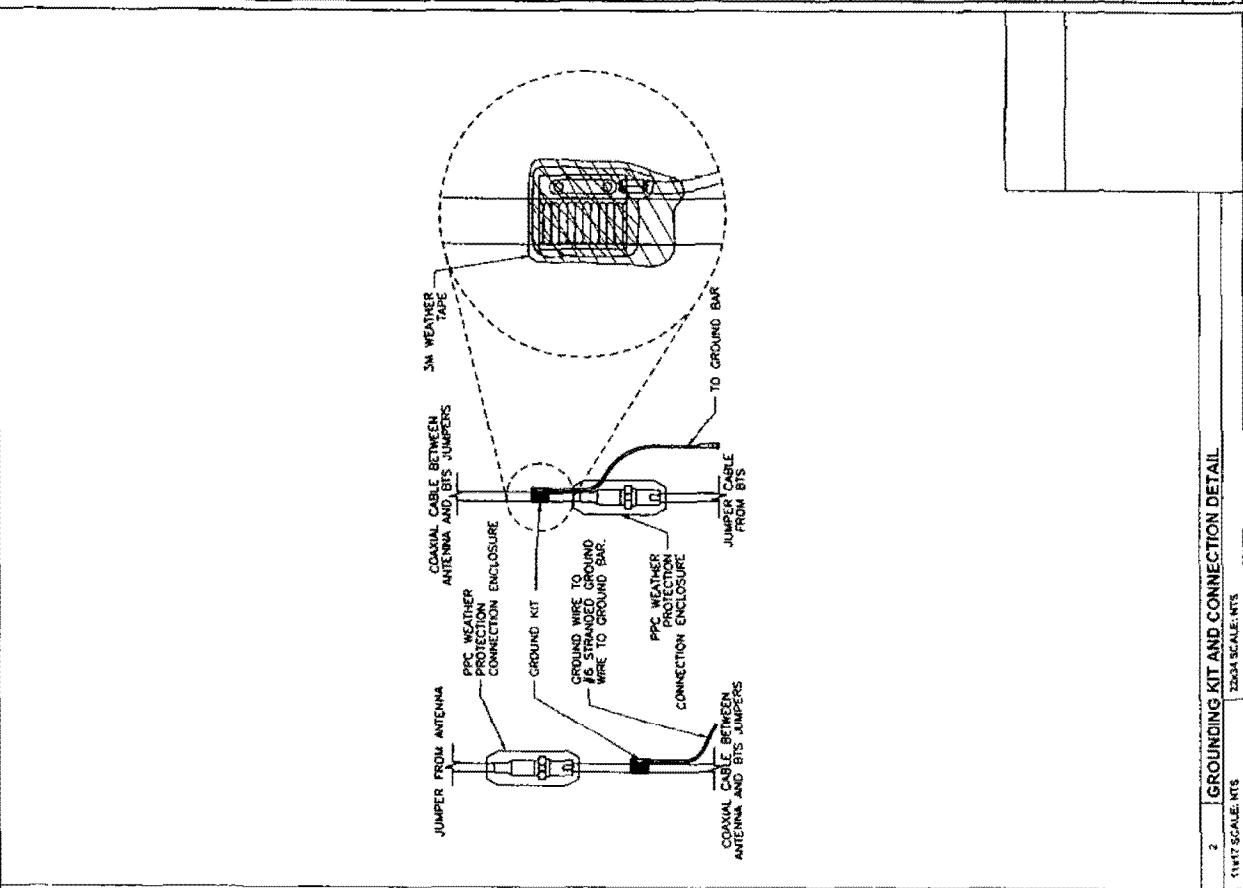
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NYPNY0662  
SITE NAME:  
MEADOW LAKE  
SITE ADDRESS:  
11142 CLIFTON AVE/  
QUEENSBURG, NY 11356

M&S PROJECT #: 1552

SCALE:	AS NOTED	DATE
DRAWN BY:	SC	CHECK
DRAWING TITLE:		

GROUNDING DETAIL

DRAWING NO.:	PAK
E-001 00	11



GROUNDING KIT AND CONNECTION DETAIL  
11K17 SCALE: NTS  
22034 SCALE: NTS

GROUNDING SCHEMATIC  
11K17 SCALE: NTS  
22034 SCALE: NTS

ENCLOSURE NUMBER: 1/20/

TENANT Site Name/ Number/ FA#: Meadow Lake / NYNYNY0652 / 10075049

**Exhibit 3-4**

*See attached Rooftop Relocation/ Reconfiguration Application*

AT&T		Rego Park		Tower # US-NY-6024		
<b>LEASE SPACE REQUIREMENTS</b>						
PRIMARY CONTIGUOUS LEASE AREA		Dimensions: LxWxH (ft)	No change to existing config	OR	Sq. ft. 119	
		QUANTITY OF CABINETS*	N/A	Fully Loaded Weight (in lbs)*	N/A	
Equipment Location	N/A	SHELTER	N/A	Dimensions: LxWxH (ft)	N/A	
Equipment Location	N/A	PAD OR PLATFORM	N/A	Dimensions: LxWxH (ft)	N/A	
Equipment Location	N/A	STAND ALONE CABINET	N/A	Dimensions: LxWxH (ft)	N/A	
NOTES RELATIVE TO LOCATION (if indoors, what floor, if on ground, what face of the building)		N/A				
<b>BACKUP POWER REQUIREMENTS</b>						
GENERATOR NOT REQUIRED?	<input type="checkbox"/>	ATC SHARED GENERATOR	<input type="checkbox"/>	SHARED GENERATOR PEAK USAGE (KW)	N/A	
INSIDE CUSTOMER SHELTER	<input type="checkbox"/>	GENERATOR (to be located inside primary leasing area)	<input type="checkbox"/>	GENERATOR (to be located outside primary leasing area)	<input type="checkbox"/>	
ADDITIONAL LEASE AREA REQUIRED FOR BACKUP POWER (LxW (ft))		N/A				
MANUFACTURER	N/A	MAKE / MODEL	N/A	CAPACITY (KW)	N/A	
FUEL TYPE						
PAD FOR GENERATOR	<input type="checkbox"/>	DIMENSIONS (LxW (ft))	N/A			
FUEL TANK	<input type="checkbox"/>	DIMENSIONS (LxW (ft))	N/A	TANK SIZE (gal)	N/A	
PAD FOR FUEL TANK (if required)	<input type="checkbox"/>	DIMENSIONS (LxW (ft))	N/A			
<b>SECONDARY GROUND LEASE AREA REQUIREMENTS</b>						
Will supplementary ground space be needed to accommodate additional equipment?		Y	<input type="checkbox"/>	N	<input checked="" type="checkbox"/>	
IF YES, ADDITIONAL LEASE AREA DIMENSIONS (LxWxH (ft))		N/A	Sq. ft.	N/A		
ADDITIONAL EQUIPMENT:	N/A	DIMENSIONS (LxWxH (ft))	N/A			
ADDITIONAL EQUIPMENT:	N/A	DIMENSIONS (LxWxH (ft))	N/A			
<b>POWER/TELCO REQUIREMENTS</b>						
POWER PROVIDED BY:	UTILITY COMPANY DIRECT	<input checked="" type="checkbox"/>	BUILDING PROVIDED (Sub)	<input type="checkbox"/>	Average monthly power consumption (KWH units)	
TELCO/INTERCONNECT REQUIREMENTS:	POTS	<input type="checkbox"/>	TI	<input type="checkbox"/>		
<b>TRANSMITTER SPECIFICATIONS (&amp; RECEIVER)</b>						
TRANSMITTER/RECEIVER TYPE	N/A	N/A	N/A	N/A	N/A	
QTY of TRANSMITTERS/RECEIVERS	N/A	N/A	N/A	N/A	N/A	
MANUFACTURER	N/A	N/A	N/A	N/A	N/A	
TYPE & MODEL	N/A	N/A	N/A	N/A	N/A	
TYPE of TECHNOLOGY	N/A	N/A	N/A	N/A	N/A	
METER TYPE	N/A	N/A	N/A	N/A	N/A	
TOTAL VOLTAGE	N/A	N/A	N/A	N/A	N/A	
TOTAL AMPERAGE	N/A	N/A	N/A	N/A	N/A	
<b>ANTENNA EQUIPMENT SPECIFICATIONS</b>						
EQUIPMENT TYPE:	Panel	Panel	RRU/RRH	RRU/RRH	Proposed	Surge Suppressor
TYPE of TECHNOLOGY (ie CDMA, IDEN, UMTS)	UMTS	LTE	N/A	N/A	N/A	N/A
EQUIPMENT MOUNT HEIGHT (ft)	1 @ 74, 2 @ 81	2 @ 74, 4 @ 81	1 @ 74, 2 @ 81	1 @ 74, 2 @ 81	1 @ 74, 2 @ 81	2 @ 74, 4 @ 81
EQUIPMENT MOUNT TYPE	T-Arm	T-Arm	N/A	N/A	ALU	N/A
EQUIPMENT MANUFACTURER	Kathrin	Commscope	Alcatel Lucent	Alcatel Lucent	Alcatel Lucent	Raycap
EQUIPMENT MODEL #	742-264	5BNHH-1D65A	B25 RRU14x30	700 MHz 2x40AT	RRH4X25-WCS	DC2-38-60-9E
EQUIPMENT DIMENSIONS (HxWxD) (Indicate feet or inches)	51.8 in x 10.3 in x 5.5 in	55 in x 11.9 in x 7.1 in	21.2 in x 11.97 in x 7.18 in	11.4 in x 5.6 in x 24.8 in	31.5 x 12 x 8.7	10.38 in x 10.75 in x 6.29 in
EQUIPMENT WEIGHT (per item, in lbs.)	36.4	33.5 lbs	52.9 lbs	22.8 lbs	31.5	16 lbs
EQUIPMENT QUANTITY	3	6	3	3	3	3 are existing and 3 are proposed
AZIMUTHS / DIRECTION of RADIATION (degrees) i.e. "0/180/240"	0/120/240	0/120/240	N/A	N/A	N/A	N/A
QTY. in EACH AZIMUTH / SECTOR, i.e. "4/4/4"	1/1/1	2/2/2	1/1/1	1/1/1	1/1/1	2/2/2
TX FREQUENCY	734-746, 716-722, 722-728, 869.04-879.99, 890.01-891.48, 1930-1940, 1965-1970, 2345-0-2360	734-746, 716-722, 722-728, 869.04-879.99, 890.01-891.48, 1930-1940, 1965-1970, 2345-0-2360	N/A	N/A	N/A	N/A
RX FREQUENCY	824.04-834.99, 845.01-846.48, 1885-1890, 1850-1860, 704.00-716.00, 2305-2315	824.04-834.99, 845.01-846.48, 1885-1890, 1850-1860, 704.00-716.00, 2305-2315	N/A	N/A	N/A	N/A
Is equipment using unlicensed frequencies?	No	No	No	No	16	No

TOTAL # of LINES for equipment in column	6	(12) coax @ 7/8", 1 fiber trunk and 1 DC trunk (existing), plus (3) 2" innerducts which each contain 1 fiber line and 1 DC line (proposed)	N/A	N/A	N/A	N/A
LINE QTY. in EACH AZIMUTH / SECTOR, i.e. "5/5/3"	2/2/2	4/4/4 (all coax), 1/1/1 (proposed 2" innerduct) and one one existing DC trunk and one existing fiber trunk	N/A	N/A	N/A	N/A
LINE TYPE	Coax	N/A	N/A	N/A	N/A	N/A
LINE DIAMETER / SIZE (")	6 @ 7/8"	12 coax @ 7/8", fiber trunk is 3/4" and DC trunk is 3/8" (existing). DC cables and fiber cables inside the proposed innerducts are also the same diameter as the existing trunks	N/A	N/A	N/A	N/A
<b>ANTENNA EQUIPMENT SPECIFICATIONS</b>						
EQUIPMENT TYPE	N/A	N/A	TTA/TMA	Diplexer/Dual Coupler	GPS	N/A
TYPE of TECHNOLOGY (ie. CDMA, IDEN, UMTS)	N/A	N/A	N/A	N/A	N/A	N/A
EQUIPMENT MOUNT HEIGHT (ft)	1 @ 74, 2 @ 81	1 @ 74, 2 @ 81	2 @ 74, 4 @ 81	2 @ 74, 4 @ 81	2 @ 77"	N/A
EQUIPMENT MOUNT TYPE	N/A	N/A	N/A	N/A	N/A	N/A
EQUIPMENT MANUFACTURER	Raycap	J Source	Andrew	Andrew	1 Kathrein OG-860/1920/GPS-A and 1 Petel GPS-TMG-HR-26	1 Reserved Microwave 3 Reserved Antennas
EQUIPMENT MODEL #	FC12-PCF-10E	Fiber Management Box - part # 1212RFM4SEC	ETD19G-12UB	641280-DF-9-DCB	1 Kathrein OG-860/1920/GPS-A and 1 Petel GPS-TMG-HR-26	N/A
EQUIPMENT DIMENSIONS (HxWxD) (Indicate feet or inches)	16.25 in x 15.5 in x 6.64 in	12 in x 12 in x 8 in	15.8 in x 15.8 in x 3.1 in	7.32 in x 7.32 in x 2 in	Kathrein is 13" x 2" and Petel is 5" x 3.2"	N/A
EQUIPMENT WEIGHT (per item, in lbs.)	30 lbs	8.5 lbs	33.1 lbs	4.3 lbs	Kathrein is 1.65 lbs and Petel is 6 lbs	N/A
EQUIPMENT QUANTITY	2 (1 existing and 1 proposed)	3	6	6	1 Kathrein GPS and 1 Petel GPS	4
AZIMUTHS / DIRECTION of RADIATION (degrees) i.e. "0/180/240"	N/A	N/A	N/A	N/A	N/A	N/A
QTY. in EACH AZIMUTH / SECTOR, i.e. "4/4/4"	N/A	1/1/1	2/2/2	2/2/2	N/A	N/A
TX FREQUENCY	N/A	N/A	N/A	N/A	N/A	N/A
RX FREQUENCY	N/A	N/A	N/A	N/A	N/A	N/A
Is equipment using unlicensed frequencies?	No	No	No	No	No	No
ANTENNA GAIN	N/A	N/A	N/A	N/A	N/A	N/A
TOTAL # of LINES for equipment in column	N/A	N/A	N/A	N/A	N/A	N/A
LINE QTY. in EACH AZIMUTH / SECTOR, i.e. "5/5/3"	N/A	N/A	N/A	N/A	N/A	N/A
LINE TYPE	N/A	N/A	N/A	N/A	N/A	N/A
LINE DIAMETER / SIZE (")	N/A	N/A	N/A	N/A	N/A	N/A

Landlord Site Name / Number: Rego Park / 392308

Landlord Contract Number: RT19289

CTC Site Name / Number / FA#: Meadow Lake / NYNYNY0652 / 10075049

## **FIFTH AMENDMENT TO SUBLEASE AGREEMENT**

This Fifth Amendment (the “*Fifth Amendment*”) to that certain Sublease Agreement dated October 31, 1995 by and between Rego Park Nursing Home Ltd. and Cellular Telephone Company d/b/a AT&T Wireless Services, as amended by that certain Amendment to Sublease Agreement dated December 18, 2001, as amended by that certain Second Amendment to Sublease Agreement dated October 2, 2006, as amended by that certain Third Amendment to Sublease Agreement dated June 25, 2014, as amended by that certain Fourth Amendment to Sublease Agreement dated October 14, 2016, as modified by that certain Application Approval Letter dated January 24, 2018, as modified by that certain Application Approval Letter dated September 17, 2018 (collectively, the “*Agreement*”) is made and entered into as of the latter signature date hereof, by and between Cell Tower Lease Acquisition LLC, a Delaware limited liability company, successor in interest to Rego Park Nursing Home Ltd. (the “*Landlord*”) and New Cingular Wireless PCS, LLC, a Delaware limited liability company, successor in interest to Cellular Telephone Company d/b/a AT&T Wireless Services (the “*CTC or Tenant*”) (collectively, the “*Parties*”).

### **RECITALS**

WHEREAS, Landlord holds an easement at a certain building located at 111-26 Corona Boulevard, Flushing, NY 11368 more commonly known to Landlord as the Rego Park, NY (the “*Building*”); and

WHEREAS, Landlord and CTC entered into the Agreement for the use of portions of the roof and equipment space at the antenna site (the “*Subleased Premises*”); and

WHEREAS, CTC desires to modify its equipment at the Subleased Premises (“*Modified Equipment*”); and

NOW THEREFORE, in consideration of the foregoing premises and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Parties hereto agree as follows:

- 1) CTC shall modify its equipment for a final installed configuration pursuant to Exhibit 3-5.
- 2) Exhibit 3-4 to the Agreement and CTC’s equipment information set forth in the Agreement is hereby deleted in its entirety as of the date this Fifth Amendment is fully executed and shall be replaced with Exhibit 3-5 attached hereto and incorporated by this reference. In the event of inconsistency or discrepancy between the Exhibit 3-5 and CTC’s equipment information set forth in the Agreement, the Exhibit 3-5 shall control.
- 3) Exhibit 2-4 to the Agreement is hereby deleted in its entirety as of the date this Fifth Amendment is fully executed and shall be replaced with Exhibit 2-5 attached hereto and incorporated by this reference. In the event of inconsistency or discrepancy between the Exhibit 2-5 and CTC’s construction drawings set forth in the Agreement, the Exhibit 2-5 shall control. In the event of inconsistency or discrepancy between the Exhibit 3-5 and the Exhibit 2-5, the Exhibit 3-5 shall control.

Landlord Site Name / Number: Rego Park / 392308

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- 4) CTC and CTC's contractors and subcontractors shall cause Landlord and its parent entity, and the Building owner ("**Owner**"), and Owner's property manager, and such entities as required under the Agreement or as may be required by Owner from time to time, to be included as additional insureds, by endorsement or otherwise, as their interests may appear under all policies of insurance described in the Agreement, except workers' compensation.
- 5) CTC's Notice Address shall be amended as follows:

New Cingular Wireless PCS, LLC  
Attn: Network Real Estate Administration  
Re: Cell Site Name: Meadow Lake (NY)  
Fixed Asset #: 10075049  
1025 Lenox Park Blvd NE  
3rd Floor  
Atlanta, GA 30324

With a copy to:

New Cingular Wireless PCS, LLC  
Attn: Legal Department, Network Operations  
Re: Cell Site Name: Meadow Lake (NY)  
Fixed Asset #: 10075049  
208 S. Akard Street  
Dallas, TX, 75202-4206

- 6) Owner's Remittance Address shall be amended as follows:

Cell Tower Lease Acquisition LLC  
29637 Network Place  
Chicago, IL 60673-1296

- 7) Capitalized terms contained herein, unless otherwise defined, are intended to have the same meaning and effect as that set forth in the Agreement.
- 8) The Parties agree that a scanned or electronically reproduced copy or image of this Fifth Amendment shall be deemed an original and may be introduced or submitted in any action or proceeding as competent evidence of the execution, terms and existence hereof notwithstanding the failure or inability to produce or tender an original, manually executed counterpart of this Fifth Amendment and without the requirement that the unavailability of such original, manually executed counterpart of this Fifth Amendment first be proven.
- 9) Except as modified by this Fifth Amendment, the Agreement and all the covenants, agreements, terms, provisions and conditions thereof shall remain in full force and effect and are hereby ratified and affirmed. The covenants, agreements, terms, provisions and conditions contained in this Fifth Amendment shall bind and inure to the benefit of the parties hereto and their respective successors and permitted assigns. In the event of a conflict between the terms contained in this Fifth Amendment and the Agreement, the

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terms herein contained shall supersede and control the obligations and liabilities of the Parties.

[SIGNATURES APPEAR ON THE NEXT PAGE]

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Landlord Site Name / Number: Rego Park / 392308

Landlord Contract Number: RT19289

CTC Site Name / Number / FA#: Meadow Lake / NYNYNY0652 / 10075049

**IN WITNESS WHEREOF**, the Parties hereto have set their hands and seals to this Fifth Amendment to that certain Sublease Agreement as of the day and year written below:

LANDLORD:

Cell Tower Lease Acquisition LLC,  
a Delaware limited liability company

CTC:

New Cingular Wireless PCS, LLC, a  
Delaware limited liability company


By: AT&T Mobility Corporation  
Its: Manager

By:   
FA490C47D3D8450...

Name: Margaret Robinson

Title: Sr Counsel US Tower.

Date: September 6, 2019

By:   
D37DBA4E5C39432...

Name: Gregg Bailey

Title: Area Manager

Date: September 5, 2019

Landlord Site Name / Number: Rego Park / 392308

Landlord Contract Number: RT19289

CTC Site Name / Number / FA#: Meadow Lake / NYNYNY0652 / 10075049

**Exhibit 2-5**

*See attached construction drawings*

SHORE 2 SHORE WIRELESS, INC.

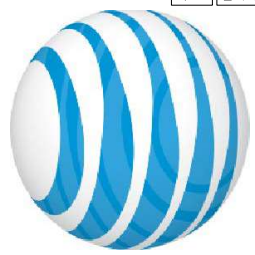


5550 MERRICK ROAD, SUITE 302  
 MASSAPEQUA, NY 11758

SITE NAME: MEADOW LAKE

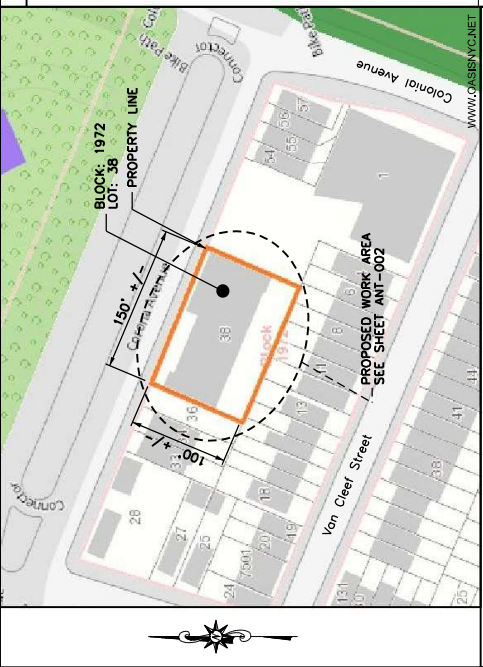
SITE #: NYNYY0652  
 PACE#: MRNYC058149

FA #: 10075049  
 LTE 7C (850)



THIS APPLICATION IS IN COMPLIANCE WITH BC3108  
 OF THE 2014 NYC BUILDING CODE

EXISTING STRUCTURE HAS BEEN ANALYZED AS PER BC3108  
 AND CHAPTER 16 OF THE 2014 NYC BUILDING CODE AND CAN  
 ADEQUATELY SUPPORT ALL ADDITIONAL LOADS BY  
 PROVIDING ADDITIONAL BRACING INCLUDING DEAD LOAD,  
 SNOW LOAD, AND WIND LOAD.



LOCATION MAP  
 NOT TO SCALE

DWG.	DWG. TITLE
T-001.00	COVER PAGE
ANT-001.00	GENERAL NOTES
ANT-002.00	ROOF PLAN
ANT-003.00	EQUIPMENT LAYOUT PLAN
ANT-004.00	ELEVATION
ANT-005.00	ANTENNA LAYOUT
ANT-006.00	EQUIPMENT DETAILS
ANT-008.00	ROOF PLAN ACTUAL AVAILABLE ROOF ACCESS
E-001.00	GROUNDING DETAILS

(TYPICAL DRAFTING STANDARDS FOR ALL SHEETS)	
Light	Upper And Lower Case Lettering
Proposed	BOLD UPPER CASE LETTERING WHEN LABELING PROPOSED FEATURES
	Light Lines Represent Existing Features
	DARK LINES REPRESENT PROPOSED FEATURES

FLOOD ZONE COMPLIANCE	
	PROPERTY IS NOT LOCATED WITHIN A SFHA.

**APPLICABLE BUILDING CODES AND STANDARDS**

SUBCONTRACTORS WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE CITY OF NEW YORK. THE LATEST EDITION OF THE ADOPTED CODES AND STANDARDS SHALL BE USED UNLESS OTHERWISE SPECIFIED.

PLUMBING CODE: 2014 NYC PLUMBING CODE  
 MECHANICAL CODE: 2014 NYC MECHANICAL CODE  
 ELECTRICAL CODE: 2014 NYC ELECTRICAL CODE  
 ENERGY CODE: 2016 NYC ENERGY CONSERVATION CODE (NYECC)  
 FIRE CODE: 2016 NYC FIRE CODE  
 SUBCONTRACTORS WORK SHALL COMPLY WITH THE LATEST APPROVED OF THE FOLLOWING STRUCTURAL CONCRETE AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, THIRTEENTH EDITION, ASD, SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS  
 AMERICAN WELDING SOCIETY (AWS) D1.1 (2004), STRUCTURAL WELDING CODE - STEEL  
 INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY: GROUND POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT  
 IEEE C2 NATIONAL ELECTRIC SAFETY CODE (NEC) 2012  
 TELECOM: 08-275 GENERAL INSTALLATION REQUIREMENTS  
 ANSI T-311, FOR TELECOM - DC POWER SYSTEMS - TELECOM ENVIRONMENTAL PROTECTION  
 FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES REGARDING MATERIAL METHODS OF CONSTRUCTION OR OTHER REQUIREMENTS THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN, WHERE THERE IS CONFLICT BETWEEN SECTIONS OF LISTED CODES REGARDING MATERIAL METHODS OF CONSTRUCTION OR OTHER REQUIREMENTS THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN, WHERE THERE IS CONFLICT BETWEEN SECTIONS OF LISTED CODES REGARDING MATERIAL METHODS OF CONSTRUCTION OR OTHER REQUIREMENTS THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.

ALL WORK SHOWN ON DRAWINGS IS SUBJECT TO THE REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK AND DIR. 14 PERMITS AND INSPECTIONS, THE ITEMS SUBJECT TO SPECIAL AND PROGRESS INSPECTIONS ARE:

BUILDING CODE SECTION	PERMIT / INSPECTION	FREQUENCY
BC 110.3.2	ENERGY CODE COMPLIANCE INSPECTIONS	ONCE AT FINAL
BC 110.3.2	FINAL INSPECTION	N/A
AND 1 EFCY §10-10	FINAL INSPECTION	N/A

TR-4 PROGRESS INSPECTIONS: PERMIT / INSPECTION

BUILDING CODE SECTION: PERMIT / INSPECTION

NOT REQUIRED: PERMIT / INSPECTION

TR-4 PROGRESS INSPECTIONS: PERMIT / INSPECTION

NOT REQUIRED: PERMIT / INSPECTION

SPECIAL INSPECTION NOTES:

- "NO PENETRATIONS TO THERMAL ENVELOPE OR FIRE BARRIER SYSTEMS ARE PROPOSED UNDER THIS APPLICATION"
- THE ANTENNAS DO NOT EXCEED HIGHER THAN SIX FEET (6'0") ABOVE THE HEIGHT OF THE ROOF, PARAPET, OR MOUNTING STRUCTURE.
- THE ANTENNAS DO NOT EXCEED 84.8 SQUARE FEET IN FACE AREA OR ONE WHELER IN DIAMETER.
- FLOOR AREA WHEREVER IS LESS THAN 400 SQUARE FEET OR 0% OF EXISTING BUILDING FLOOR AREA, WHICHEVER IS LESS.
- EXISTING BUILDING FLOOR AREA: 53,528 SQ. FT.
- EQUIPMENT SQUARE FOOTAGES: 14,147 SQ. FT.
- ANTENNA APPLICATION NUMBERS: 40874668, 401407089, 42708699
- EXISTING EQUIPMENT AREA: 11,833 SQ. FT.
- REMOVED EQUIPMENT AREA: 10,934 SQ. FT.
- TOTAL EQUIPMENT AREA: 148,730 SQ. FT.

VERIFICATION APPLICATION NUMBERS: 08274966, 40031715, 42121806  
 SPRINKLER APPLICATION NUMBERS: 40364037, 400874813, 42122646, 42019058  
 EXISTING EQUIPMENT AREA: 11,833 SQ. FT.  
 REMOVED EQUIPMENT AREA: 10,934 SQ. FT.  
 TOTAL EQUIPMENT AREA: 148,730 SQ. FT.

- CUMULATIVE EQUIPMENT AREA (ALL CARRIERS) = 683,750 SQ. FT.
- THE PROPOSED INSTALLATION WILL HAVE NO EFFECT ON THE STRUCTURAL STABILITY OF THE EXISTING BUILDING

**SCOPE OF WORK**

Replacement Of (6) Existing Antennas for (6) Proposed Antennas  
 With Associated Equipment, Cabling And Apparatuses  
 To An Unmanned Telecommunications Facility

**PROJECT DIRECTORY**

APPLICANT: NEW CIRCULAR WIRELESS FCSS,  
 ONE AT&T WAY,  
 BEDMINSTER, NJ 07821

PROPERTY OWNER: TOWER ASSOCIATES II LLC  
 1001 CORONA AVENUE  
 FLUSHING, NY 11356-4027

RF ENGINEER: PHIL LICHTENBERGER  
 (851) 424-0041

ENGINEERING PROJECT MANAGER: TONY CORONA  
 (908) 324-2513

**FIRE CODE COMPLIANCE NOTE:**  
 EXISTING BUILDING IS NOT COMPLIANT WITH THE REQUIREMENTS OF THE NEW YORK CITY FIRE CODE SECTION FC604, W/AVER REQUIRED.

**APPROVALS**

REVISION	DATE	APPROVED	DATE	APPROVED
A	ISSUED FOR REVIEW 06/14/19	RL	06/14/19	RL
NO.	ISSUE OR REVISION	DATE	DATE	BY

CONSTRUCTION DOCUMENTS	
SITE #:	NYNYY0652
SITE NAME:	MEADOW LAKE
SITE ADDRESS:	111-26 CORONA AVENUE QUEENES, NY 11368
SDG PROJECT #:	19SSJ007
SCALE:	AS NOTED
DATE:	06/14/19
CHECKED BY:	LM
DRAWN BY:	RL
CHECKED BY:	LM
DRAWING TITLE:	
COVER PAGE	
DRAWING NO.:	T-001.00
PAGE NO.:	1 of 10



Shelkome at Hunterdon  
 53 Frontage Road, Suite 200  
 Hampton, NJ 08827  
 PH 908.323.2513 Fax 908.323.2525

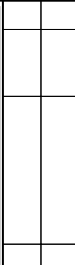
**DRAFT**  
**NOT FOR CONSTRUCTION**  
 ANY CHANGES TO THIS DRAWING SHALL BE MADE BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. ANY CHANGES MADE TO THIS DRAWING SHALL BE MADE BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT. ANY CHANGES MADE TO THIS DRAWING SHALL BE MADE BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

COLLEEN CONNOLLY  
 NY PROFESSIONAL ENGINEER # 087818  
 UNLESS AUTHORIZED BY THE SIGNATURE OF A LICENSED ENGINEER TO ALTER THIS DOCUMENT IN ANY WAY, SIGNATURE AND SEAL NOT VALID UNLESS ORIGINAL.



SHORE 2 SHORE WIRELESS, INC.

5550 MERRICK ROAD, SUITE 302  
 MASSAPEQUA, NY 11758



GENERATOR SHALL COMPLETE THE WORK TO PROTECT THE WATERWAYS FROM THE EFFECTS OF THE PROPOSED WORK. THE WORK SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE PERMIT.

- GENERAL NOTES:
- THE NOTES CONTAINED HEREIN ARE NOT PROJECT SPECIFIC. THE CONTRACTOR SHALL UTILIZE ALL THE NOTES PERTAIN TO THE WORK DEPICTED IN THIS PLAN SET.
  - THE CONTRACTOR SHALL CONTACT SDG TO VERIFY THAT THEY HAVE BEEN ISSUED THE LATEST REVISION OF THE CONSTRUCTION DOCUMENTS PRIOR TO THE START OF CONSTRUCTION.
  - ALL DIMENSIONS AND INFORMATION SHOWN IN THE DRAWINGS ARE DERIVED FROM LIMITED FIELD OBSERVATIONS MADE FOR THIS PROJECT. DETAILED INFORMATION WAS OBTAINED FROM THE CONTRACTOR'S RECORD DRAWINGS. THIS INFORMATION IS TO BE USED FOR THE WORK SHOWN ON THESE PLANS ONLY.
  - UNLESS SPECIFICALLY REQUESTED BY THE CLIENT OR REQUIRED TO PROCEED WITH WORK, THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR VERIFYING THE EXISTENCE OF ANY UTILITIES THAT HAVE NOT BEEN PERFORMED. BUILDING COMPONENT CONFIGURATION AND CONDITION ARE TO BE DETERMINED BY VISUAL SURFACE FINISHES, WHICH MAY VARY AND SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE OF UTILITIES TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS & FIELD CONDITIONS PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. THE SEQUENCES OF PROCEEDING WITH CONSTRUCTION AFTER DISCOVERING A FIELD CONDITION DISCREPANCY AND WITHOUT THE APPROVAL OF THE ENGINEER, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
  - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS AND INSPECTIONS TO COMPLETE THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY PERMITS AND INSPECTIONS WITH THE CITY OF HUNTERDON, NEW JERSEY, BUT NOT LIMITED TO ELECTRICAL, PLUMBING, FIRE PROTECTION AND STRUCTURAL.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ENGINEER OF ALL CONSTRUCTION STAGES WHICH REQUIRE SPECIAL OR CONTROLLED INSPECTIONS WITH A MINIMUM OF 48 HOURS (2 BUSINESS DAYS) NOTICE. THESE INSPECTIONS INCLUDE, BUT ARE NOT LIMITED TO: CONCRETE REINFORCEMENT, CONCRETE POURING, STRUCTURAL FORMWORK, AND ALL OTHER CONSTRUCTION STAGES. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THESE INSPECTIONS WITH THE ENGINEER (WHICH PROHIBIT SIGNOFF WITH THE AUTHORITY HAVING JURISDICTION).
  - CONTRACTOR SHALL PROVIDE ENGINEER WITH PHOTOGRAPHS FOR EACH STAGE OF CONSTRUCTION. THE PHOTOGRAPHS SHALL INCLUDE, BUT ARE NOT LIMITED TO: BEAM POCKETS & PEDESTAL CONNECTIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR SAFETY DURING CONSTRUCTION. THE ENGINEER HAS NO RESPONSIBILITY FOR OR CONTROL OVER SAFETY AT ANY TIME.
  - THE ENGINEER HAS NOT PERFORMED AN INSPECTION FOR ASBESTOS OR OTHER HAZARDOUS MATERIALS. THESE DRAWINGS ARE NOT MEANT TO DETECT OR IMPLY THE PRESENCE OR ABSENCE OF SUCH MATERIALS WITHIN THE PROPOSED WORK AREAS. TRUE NORTH SHALL BE DETERMINED, CONTRACTOR IS RESPONSIBLE FOR PROPER ALIGNMENT.
  - THE CONTRACTOR SHALL CONTACT THE TELECOMMUNICATIONS CARRIER TO ACQUIRE THE LATEST RF DATA SHEET PRIOR TO THE START OF CONSTRUCTION. RF INFORMATION OBTAINED FROM THE CARRIER SHALL BE USED TO DETERMINE THE ROUTING OF THE CARRIER CONTAINED HEREIN.
  - ROUTING IS DISCREET AND CONTRACTOR IS TO UTILIZE BEST POSSIBLE ROUTING TO COMPLETE CONSTRUCTION. ROUTING SHALL NOT IMPED UPON REQUIRED PASSAGEWAYS OR MEANS OF EGRESS.
  - THE CONTRACTOR SHALL PROVIDE NEW PENETRATIONS FOR ROUTING THROUGH FIRE RATED ASSEMBLIES AND FIRE STOP ALL PENETRATIONS AS PER CODE. THE CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE THE FIRE RATING OF BUILDING COMPONENTS IF EXISTING PENETRATIONS ARE USED FOR NEW ROUTING.
  - ALL DISTURBED AREAS SHALL BE REPAIRED TO MATCH EXISTING ADJACENT, INCLUDING BUT NOT LIMITED TO FIRE RATED MATERIALS.
  - ANY DISTURBANCE TO ROOFING, FLASHINGS OR ANY EXTERIOR SURFACE SHALL BE REPAIRED/SEALED WATER TIGHT AND IN ACCORDANCE WITH ANY WARRANTIES AS APPLICABLE. THE GENERAL CONTRACTOR OR SHALL EMPLOY THE WARRANTY GRANTOR, OR OTHER AUTHORIZED CONTRACTOR, WHERE REQUIRED FOR MAINTENANCE OF THE WARRANTY.
  - THE PERIMETER AND ANCHORS OF ALL STEEL TO CONCRETE OR MASONRY MASONRY JOINTS SHALL BE SEALED WATER TIGHT USING A PURPOSE FORMULATED MASONRY SEALANT.
  - CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.

NYCECC TABLE (2016):	CODE PRESCRIBED VALUE AND CITATION	PROPOSED DESIGN VALUE
WORK ITEMS (INCLUDING NEW AND/OR REPLACEMENT)		
BUILDING ENVELOPE REQUIREMENTS:		
WALLS, ABOVE GRADE	NO CHANGE	N/A
WALLS, BELOW GRADE	NO CHANGE	N/A
BUILDING MECHANICAL SYSTEMS:		
HVAC SYSTEM	NO CHANGE	N/A
DUCT AND PLENUM INSULATION	NO CHANGE	N/A
PIPING INSULATION	NO CHANGE	N/A
ELECTRICAL POWER AND LIGHTING SYSTEMS:		
EXIT SIGNS	NO CHANGE	N/A
INTERIOR LIGHTING	NO CHANGE	N/A

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND FAITHFUL AND SOLE OPINION, THIS APPLICATION IS IN COMPLIANCE WITH THE NYCECC 2016.

**FIRE CODE COMPLIANCE NOTES:**

- THE "NYC FIRE COMPLIANCE PLAN" WAS DERIVED FROM THE 2016 NYC FIRE CODE SECTION FC 504.
- THE NUMBER OF REQUIRED CLEARANCES AS SHOWN ON THE PLANS ALONG THE BUILDING PERIMETER MUST BE PROVIDED. THESE 6'-0" WIDE BY 6'-0" DEEP AREAS MUST BE CLEARED OF ALL OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, OBSTRUCTIONS SHOWN ON THE PLANS. IF ANY OBSTRUCTIONS ARE FOUND IN THESE AREAS CONTACT THE ENGINEER.
- IS NOT READY, MOVABLE BY A PERSON WITHOUT THE USE OF TOOLS OR EQUIPMENT, INCLUDING DUCTS, INTAKES AND EXHAUSTS, VENT PIPES, AND WINDOW CLEANING EQUIPMENT, BUT SHALL NOT INCLUDE NONMETALLIC DECKING.
- EACH DOOR OPENING ONTO THE ROOF FROM ANY OCCUPIED SPACE MUST HAVE A MINIMUM CLEARANCE OF 6'-0" IN ALL DIRECTIONS. THE 6'-0" SHALL BE MEASURED FROM THE HINGE OF EACH DOOR.
- A MINIMUM CLEARANCE OF 3'-0" IN ALL DIRECTIONS SHALL BE PROVIDED FROM ANY FIRE ESCAPE OR ROOFTOP ACCESS LADDER. THE 3'-0" CLEARANCE SHALL BE MEASURED FROM EACH SIDE OF LADDER, LANDING OR ACCESS.
- A CLEAR PATH AS SHOWN ON THE PLANS SHALL BE PROVIDED FROM THE FRONT OF THE BUILDING TO THE REAR OF THE BUILDING AND FROM ONE SIDE OF THE BUILDING TO THE OTHER SIDE. THIS CLEAR PATH SHALL BE A MINIMUM OF 6'-0" WIDE BY A MINIMUM OF 6'-0" HIGH. THE ONLY PERMITTED OBSTRUCTION TO THIS CLEAR PATH MUST BE ACCESSIBLE FROM ALL 6'-0" X 6'-0" PERIMETER CLEARANCES AS OUTLINED ABOVE.
- ALL CONDUITS, CABLE TRAY AND PIPING MUST BE INSTALLED ALONG THE PARAPET TO THE GREATEST EXTENT POSSIBLE/PRACTICAL. IF THESE OBSTRUCTIONS CROSS THE CLEAR PATH AND EXCEED 1'-0" IN HEIGHT A STEPOVER/RAMP SHALL BE PROVIDED. THIS STEPOVER/RAMP SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS AND SHALL BE EQUIPPED WITH RAILINGS.



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NY PROFESSIONAL ENGINEER # 087018  
UNLESS STATED OTHERWISE, ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) HAZARDOUS MATERIALS HANDBOOK, AND THE NATIONAL ELECTRICAL SAFETY CODE (NEC).  
SIGNATURE AND SEAL, NOT VALID UNLESS ORIGINAL.

SHORE 2 SHORE WIRELESS, INC.  
  
5550 MERRICK ROAD, SUITE 302  
MASSAPEQUA, NY 11758

APPLICANT:  


CONTRACTOR SHALL COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS FROM THE CITY OF HUNTERDON, NEW JERSEY.	
A	ISSUED FOR REVIEW 06/14/19 RL
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PROJECT TITLE:

CONSTRUCTION DOCUMENTS

SITE #:  
NYYNY0652  
SITE NAME:  
MEADOW LAKE  
SITE ADDRESS:  
111-26 CORONA AVENUE  
QUEENSBURG, NY 11368

SDG PROJECT #: 19SSLO07

SCALE: AS NOTED DATE: 06/14/19

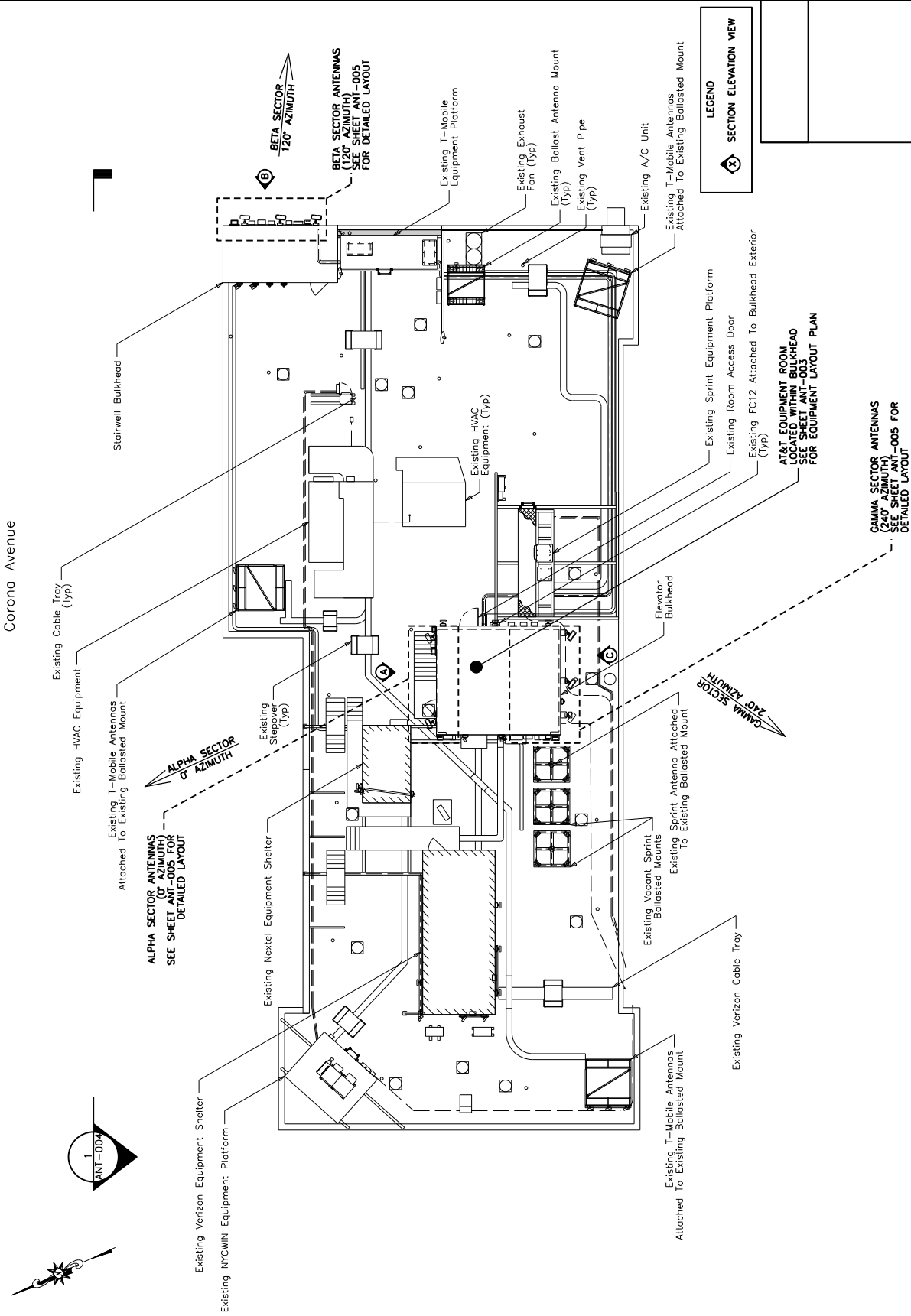
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GENERAL NOTES

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CONTRACTOR SHALL CONSULT SDG PRIOR TO ANY WORK ON THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

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SITE ADDRESS:  
111-26 CORONA AVENUE  
QUEENES, NY 11368

SDG PROJECT #: 19SSL007

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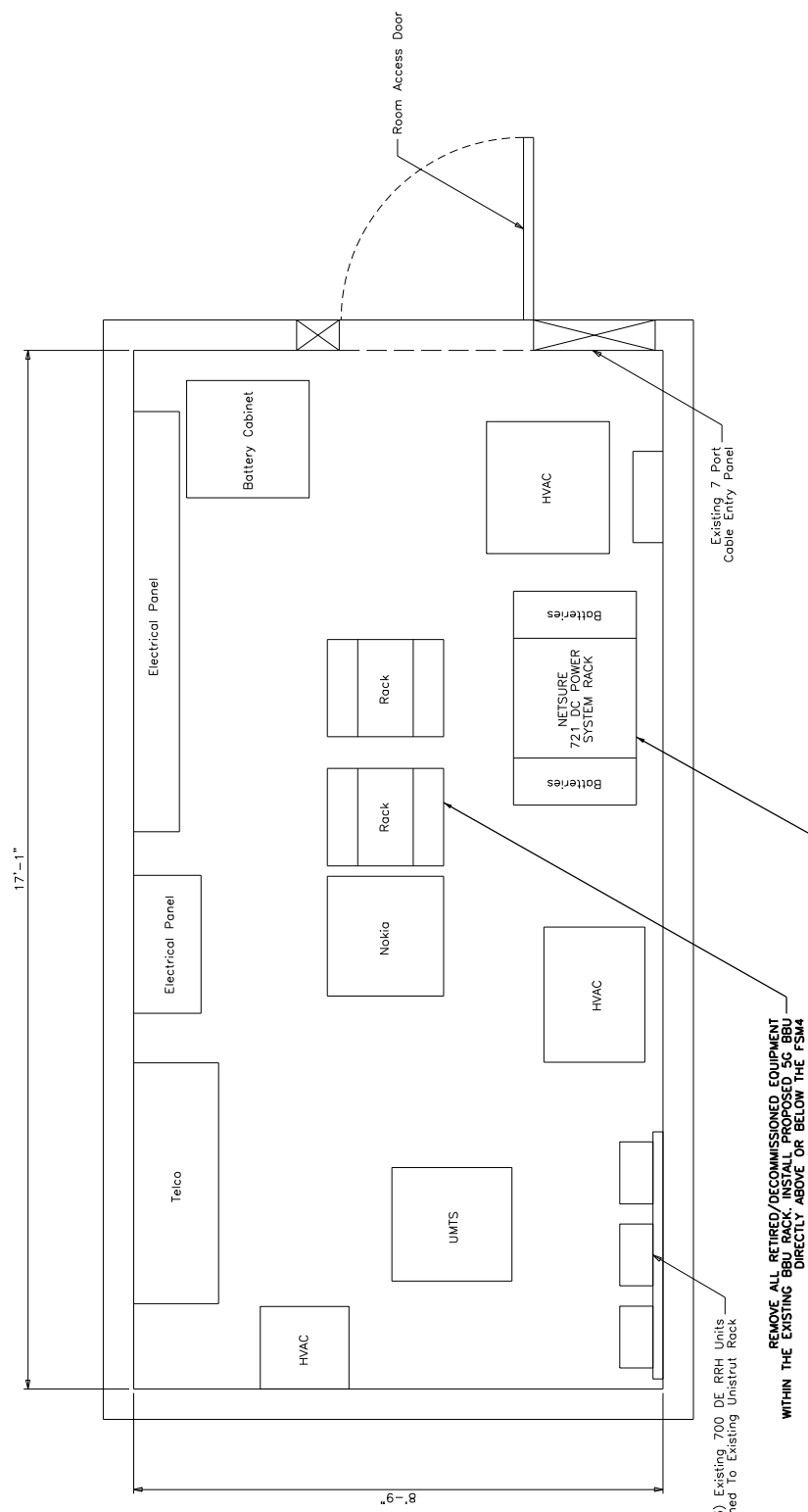
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ROOF PLAN

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1 ROOF PLAN  
11x17 SCALE: 1/8" = 1'-0" 22x34 SCALE: 1/8" = 1'-0"



EQUIPMENT ROOM SCHEDULE	
DIMENSIONS (ft)	TOTAL FOOTPRINT AREA (ft²)
8.71 x 7.07	148.6
EXISTING AREA (ft²)	148.6
REMOVED AREA (ft²)	0.0
PROPOSED AREA (ft²)	0.0
<b>TOTAL AREA (ft²)</b>	<b>148.6</b>

**NOTES:**

- TURN OFF (3) EXISTING -48VDCPP CONVERTERS FOR A TOTAL OF (2) -48VDCPP RECTIFIERS (N+1) ON.
- ## OF EXISTING 24V CONVERTERS: N/A
- ## OF REQUIRED 24V CONVERTERS (N+1): N/A
- ## OF EXISTING 24V RECTIFIERS (N+1): N/A
- ## OF REQUIRED 24V RECTIFIERS (N+1): N/A
- ## OF EXISTING 48V CONVERTERS: 5
- ## OF REQUIRED 48V CONVERTERS (N+1): 2
- ## OF EXISTING 48V RECTIFIERS: 0
- ## OF REQUIRED 48V RECTIFIERS (N+1): 11
- ## OF ADD'L NEEDED 48V RECTIFIERS (N+1): 1
- ## OF ADDITIONAL BATT. STRINGS NEEDED: 0

- NOTES:**
- 1) THERE IS A NETSURE 721 48VDCPP WITH (10) 48VDC RECTIFIERS AND (5) 48V-TO-24V CONVERTERS.
  - 2) BATTERY UPGRADE NOT REQUIRED.
- FOR 5C BBU INSTALL:**
- A GPS HDMI CABLE, (19" LONG) WILL BE PLUGGED IN BETWEEN THE 4G AND 5C BBU TO SHARE GPS SIGNAL.
  - THE 5C BBU TO BE POWERED WITH 2-25 AMP BREAKERS, ONE PER ASIK/SIDE OF BBU
  - ONE 5C BBU BACKHAUL FIBER NEEDS TO BE RUN TO THE 7705.

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**at&t**

CONTRACTOR SHALL COMPLETE THIS SHEET TO PREPARE THE WATERPAPER FOR SUBMITTAL TO THE LOCAL PERMITTING AGENCY.

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**PROJECT TITLE:**  
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NNYN70652

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MEADOW LAKE

SITE ADDRESS:  
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QUEENNS, NY 11368

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EQUIPMENT LAYOUT PLAN

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APPLICANT:



CONTRACTOR SHALL CONSULT SDG PRIOR TO PREPARING THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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PROJECT TITLE:  
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SITE ADDRESS:  
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QUEENS, NY 11368

SDG PROJECT #: 19SSL007

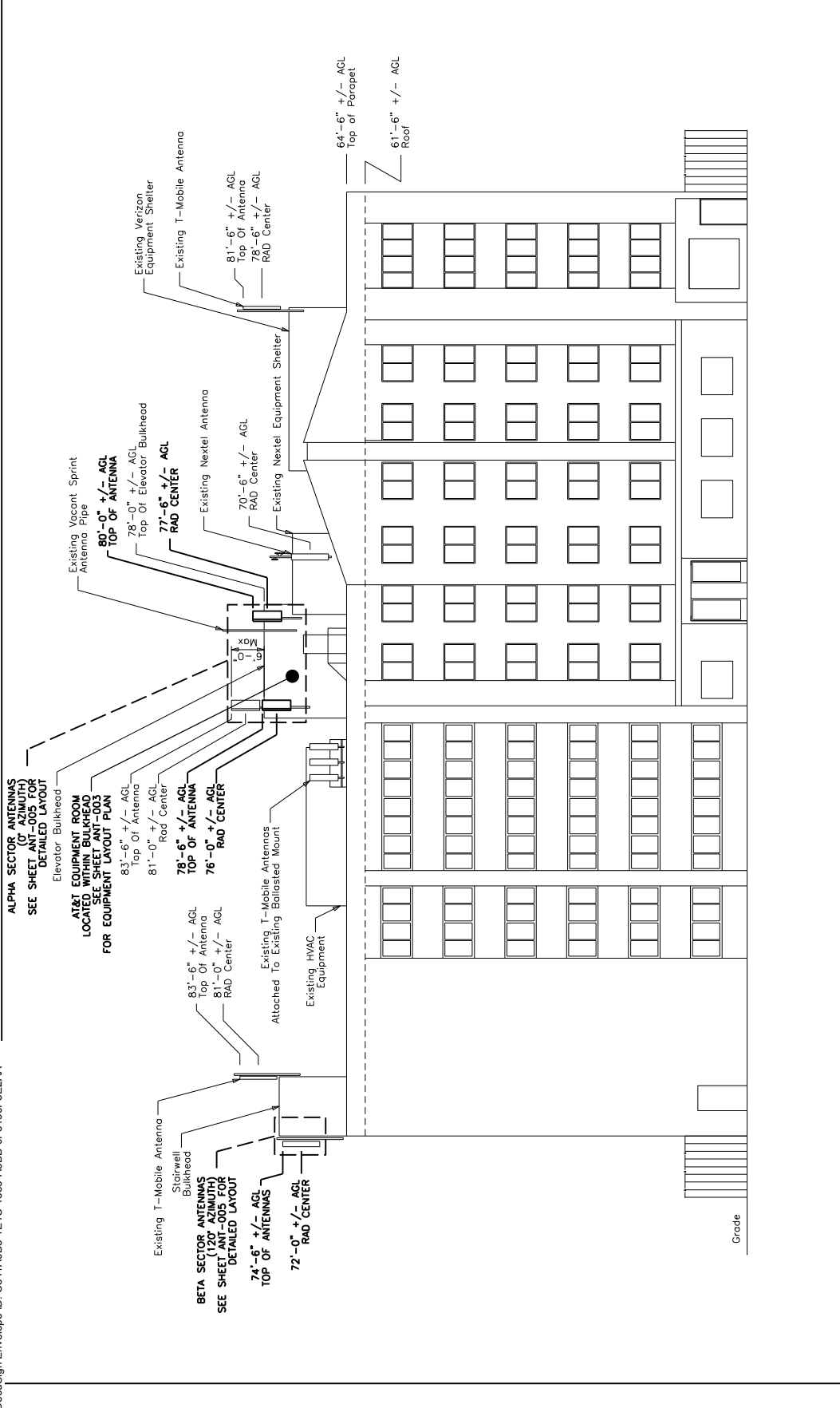
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ELEVATION

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ANT-004.00


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- NOTES:
- 1) GAMMA SECTOR ANTENNAS (240° AZIMUTH) NOT SHOWN FOR CLARITY  
83'-6" +/- AGL TOP OF ANTENNAS  
81'-0" +/- AGL RAD CENTER
  - 2) PROPOSED ANTENNAS NOT TO EXCEED 6'-0" MAX ABOVE THE BUILDING FEATURE TO WHICH THEY ARE ATTACHED.



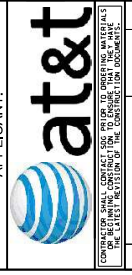
1 CORONA AVENUE ELEVATION  
11x17 SCALE: 1/16" = 1'-0" 22x34 SCALE: 1/8" = 1'-0"



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5550 MERRICK ROAD, SUITE 302  
MASSAPEQUA, NY 11758



CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES INVOLVED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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SITE ADDRESS:  
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QUEENS, NY 11368

SDG PROJECT #: 19SSJ007

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ANTENNA LAYOUT

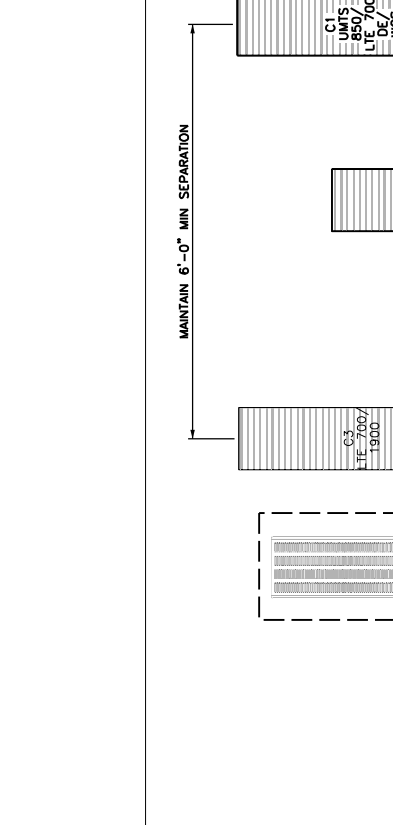
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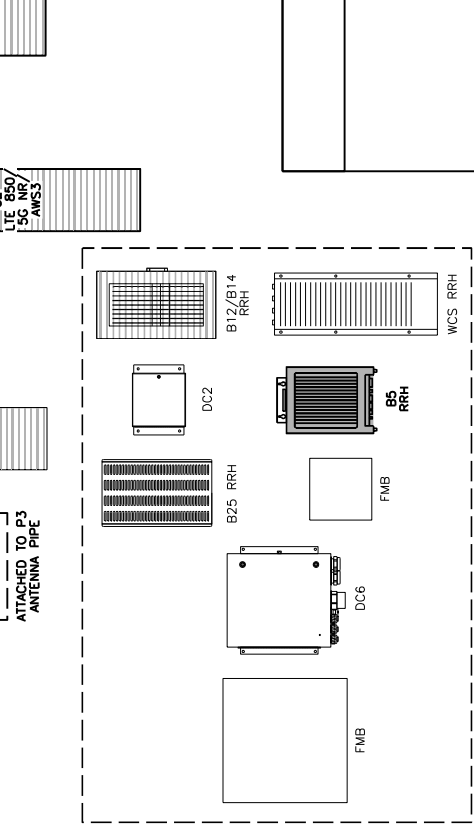
**EQUIPMENT LEGEND**

[Symbol]	EXISTING TO REMAIN
[Symbol]	RELOCATED EXISTING
[Symbol]	REPLACED
[Symbol]	PROPOSED

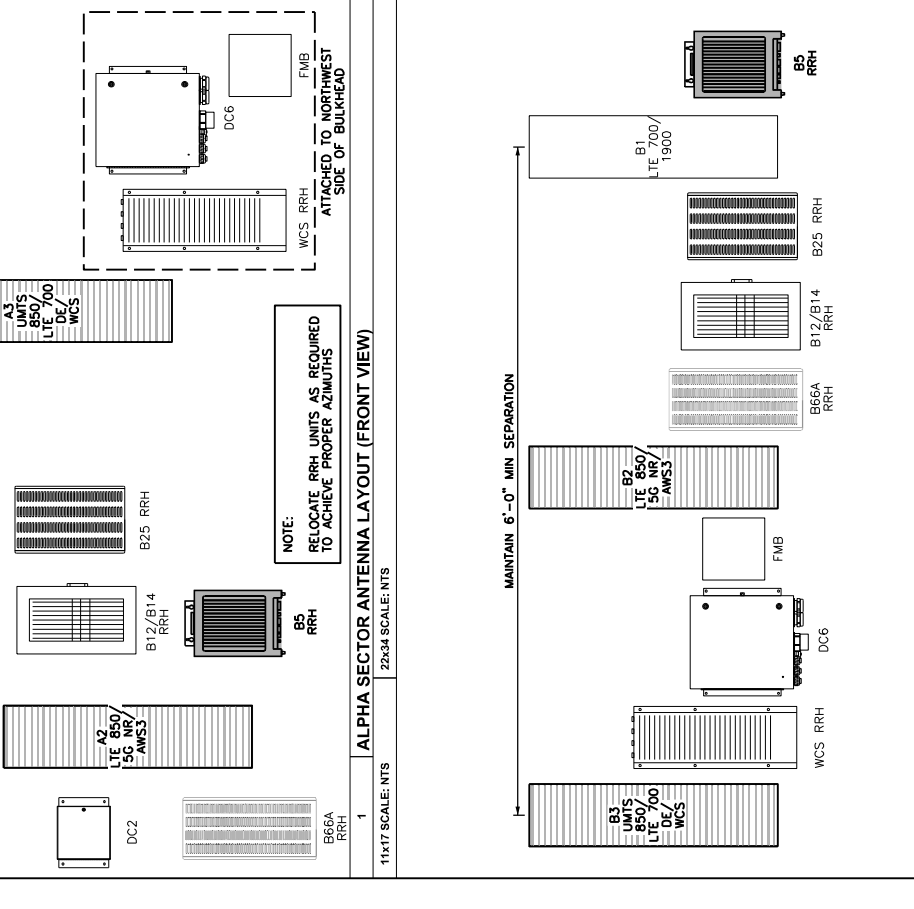
- NOTES:**
- REPLACE (1) EXISTING UNITS 850/LTE AWS ANTENNA WITH (1) PROPOSED LTE 850/5C NR/AWS3 ANTENNA ATTACHED TO EXISTING ANTENNA MOUNT (ALL SECTORS).
  - REPLACE (1) EXISTING LTE 700 DE/LTE WCS ANTENNA WITH (1) PROPOSED UNITS 850/LTE 700 DE/WCS ANTENNA ATTACHED TO EXISTING ANTENNA MOUNT (ALL SECTORS).
  - ATTACH (1) PROPOSED B5 RRR UNIT TO PROPOSED UNISTRUT MOUNTED TO BUILDING BULKHEAD (ALPHA AND GAMMA SECTORS) SEE DETAIL 3/ANT-007
  - ATTACH (1) PROPOSED B5 RRR UNIT TO PROPOSED UNISTRUT MOUNTED TO BUILDING EXTERIOR (BETA SECTOR) SEE DETAIL 3/ANT-007
  - MOVE UNITS JUMPERS FROM P2 TO P3 (ALPHA AND BETA SECTORS)
  - MOVE UNITS JUMPERS FROM P2 TO P3 (GAMMA SECTOR)



1 ALPHA SECTOR ANTENNA LAYOUT (FRONT VIEW)  
11x17 SCALE: NTS 22x34 SCALE: NTS



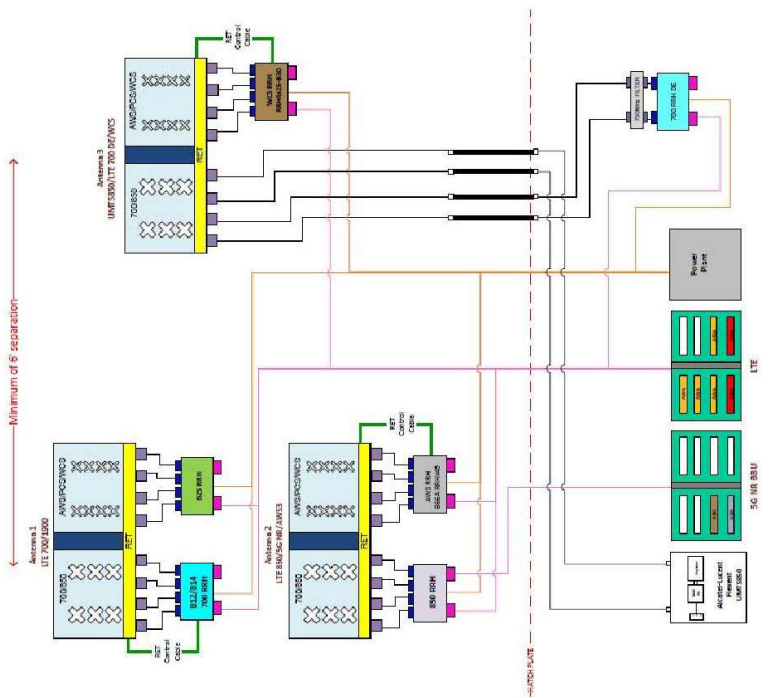
2 BETA SECTOR ANTENNA LAYOUT (FRONT VIEW)  
11x17 SCALE: NTS 22x34 SCALE: NTS



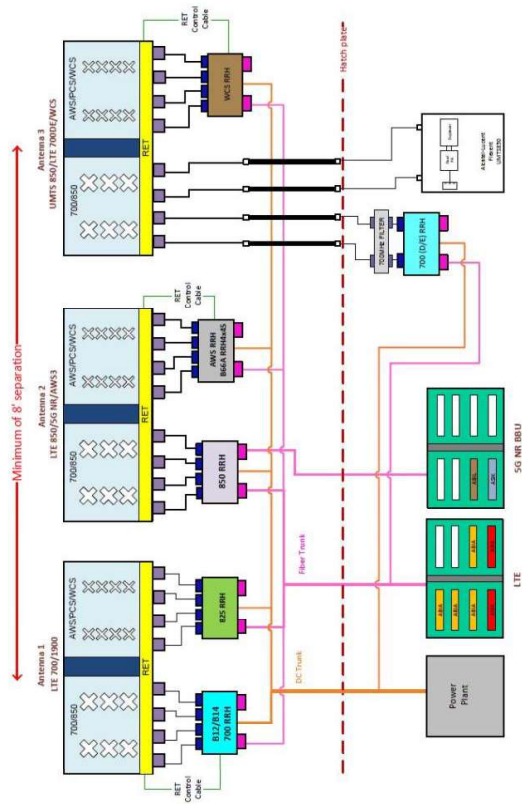
3 GAMMA SECTOR ANTENNA LAYOUT (FRONT VIEW)  
11x17 SCALE: NTS 22x34 SCALE: NTS



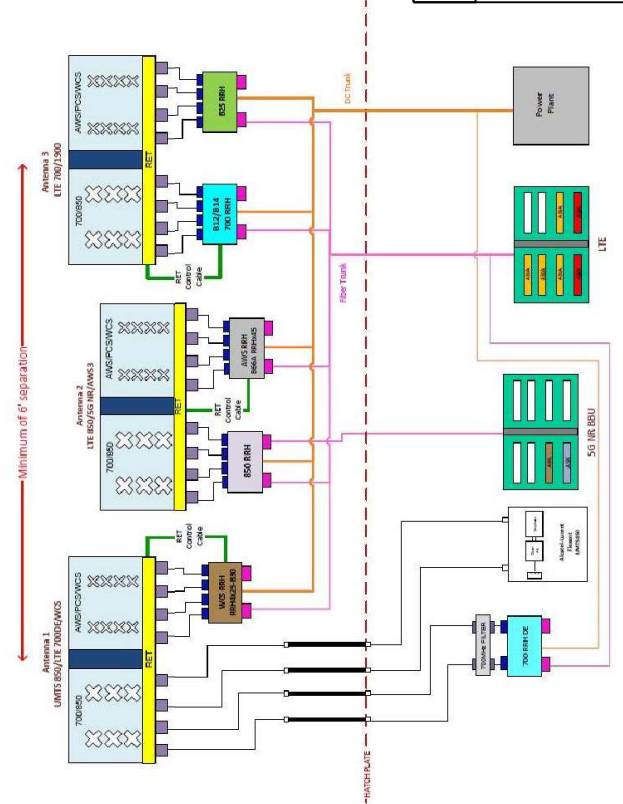
**PROPOSED ALPHA\_SECTOR**



**PROPOSED BETA\_SECTOR**



**PROPOSED GAMMA\_SECTOR**



SECTOR COLOR IDENTIFIERS	RRH COLOR IDENTIFIERS	TECHNOLOGY IDENTIFIERS
Alpha - Green	700.B17 - (1) Purple Stripe	GSM - Sector Stripes Only
Beta - Blue	1900 - (1) Red Stripe	UMTS - One Orange Stripe
Gamma - White	700.B29 - (1) Yellow Stripe	LTE - One Purple Stripe
Delta - Red	WCS - (1) Pink Stripe	
Epsilon - Yellow	Second 1900 - (2) Red Stripes	
Zeta - Magenta	AWS - (1) Blue Stripe	
	850 - (2) Purple Stripes	

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MASSAPEQUA, NY 11758

APPLICANT:

CONTRACTOR SHALL CONSULT SCHEDER DESIGN GROUP TO OBTAIN THE WATER RIGHTS FOR THE SITE AND TO OBTAIN THE NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL GOVERNMENTS.

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PROJECT TITLE:  
CONSTRUCTION DOCUMENTS

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NYYNY0652  
SITE NAME:  
MEADOW LAKE  
SITE ADDRESS:  
111-26 CORONA AVENUE  
QUEEN'S, NY 11368

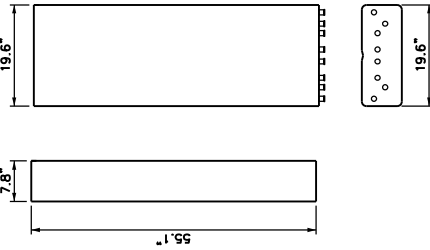
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ANTENNA NOTES

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**NNHH-65A-R4**

RADOME MATERIAL: FIBERGLASS, UV RESISTANT  
 RADOME COLOR: LIGHT GRAY  
 WEIGHT: 67.2 lbs (WITHOUT MOUNTING BRACKET)  
 CONNECTOR: 8-IN FEMALE, 8-IN MALE

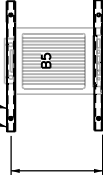


**AIRSCALE\_RRH\_4T4R\_BS\_160W**  
**AHCA**

COLOR: LIGHT GRAY  
 DIMENSIONS (HxWxD): 16.5" x 7.25" x 8.1"  
 (WITH SOLAR SHIELD)  
 WEIGHT: 35.3 lbs WITHOUT MOUNTING HARDWARE  
 CONNECTOR: 4T4R 4RX PORTS 4.3-19+  
 RF OUTPUT POWER: 4T4R 40W/2T4R 60W



1-5/8" HORIZONTAL UNISTRUT, PART # P1000T, CUT TO REQUIRED LENGTH (AS REQUIRED) (TYP)



SPACE AS REQUIRED TO FACILITATE INSTALLATION OF PROPOSED EQUIPMENT AS PER MANUFACTURER'S SPECS

3/8" DIA. THREADED ROD ANCHOR USING HILTI HY-70 WITH SCREEN TABES AND 4" MIN EMBEDMENT @ 18" O.C. MAX (TYP)

PROPOSED BS RRH UNIT ATTACHED TO PROPOSED UNISTRUT AS PER MANUFACTURER'S SPECIFICATIONS

**INSTALLATION NOTE:**  
 ALL EXPOSED UNISTRUT ENDS TO BE CAPPED WITH UNISTRUT CAP (MODEL #P2860-10) UNLESS NOTED OTHERWISE.

**1 ANTENNA SPECIFICATIONS**

11x17 SCALE: NTS 22x34 SCALE: NTS

**2 BS RRH SPECIFICATION**

11x17 SCALE: NTS 22x34 SCALE: NTS

**3 BS MOUNTING DETAIL (ALL SECTORS)**

11x17 SCALE: 1/2" = 1'-0" 22x34 SCALE: 1" = 1'-0"

Sector	Qty	Position	Azimuth	Status	Manufacturer	Model	Dimensions			Weight [lbs]	Face Area [ft <sup>2</sup> ]
							Height [in]	Width [in]	Depth [in]		
Alpha Sector	1	A1	0°	Existing	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
	1	A2	0°	Proposed	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
	1	A3	0°	Proposed	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
Beta Sector	1	B1	120°	Existing	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
	1	B2	120°	Proposed	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
Gamma Sector	1	C1	240°	Proposed	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
	1	C2	240°	Proposed	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50
	1	C3	240°	Existing	Commscope	NNHH-65A-R4	55.1	19.6	7.8	83.8	7.50

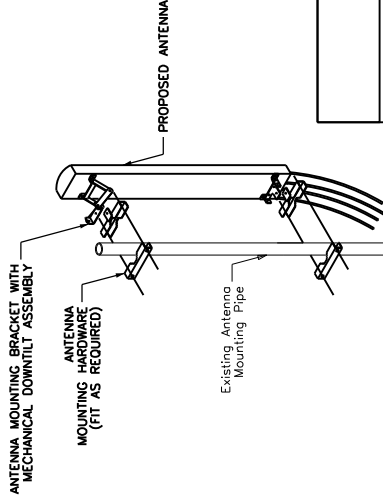
**NOTE:**  
 ANTENNA DESIGN DERIVED FROM RFDS DATED 03/28/19.  
 GENERAL CONTRACTOR TO VERIFY THAT THIS IS THE MOST UP-TO-DATE DESIGN.

**4 ANTENNA SCHEDULE**

11x17 SCALE: NTS 22x34 SCALE: NTS

**5 ANTENNA MOUNTING DETAIL**

11x17 SCALE: NTS 22x34 SCALE: NTS



Scherer Design Group  
 53 Frontage Road, Suite 200  
 Hampton, NJ 08827  
 Ph 908.323.2513 Fax 908.323.2525

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 STATE OF NEW JERSEY  
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 MASSAPEQUA, NY 11758

APPLICANT:

CONTRACTOR SHALL CONSULT SUBMITTER TO DETERMINE WATERFACILITY OR EXISTING UTILITIES IN THE PROJECTING TIME PERIOD.

NO.	ISSUE OR REVISION	DATE	BY
A	ISSUED FOR REVIEW	06/14/19	RL

PROJECT TITLE:

CONSTRUCTION DOCUMENTS

SITE #:  
 NNYNY0652  
 SITE NAME:  
 MEADOW LAKE  
 SITE ADDRESS:  
 111-26 CORONA AVENUE  
 QUEENS, NY 11368

SDG PROJECT #: 19SSLO07

SCALE: AS NOTED DATE: 06/14/19

DRAWN BY: RL CHECKED BY: LM

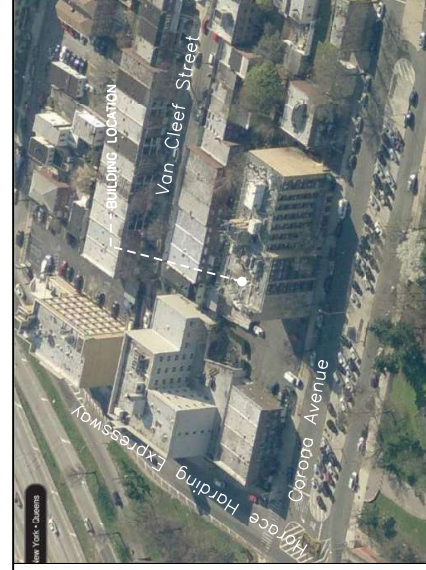
DRAWING TITLE:

EQUIPMENT DETAILS

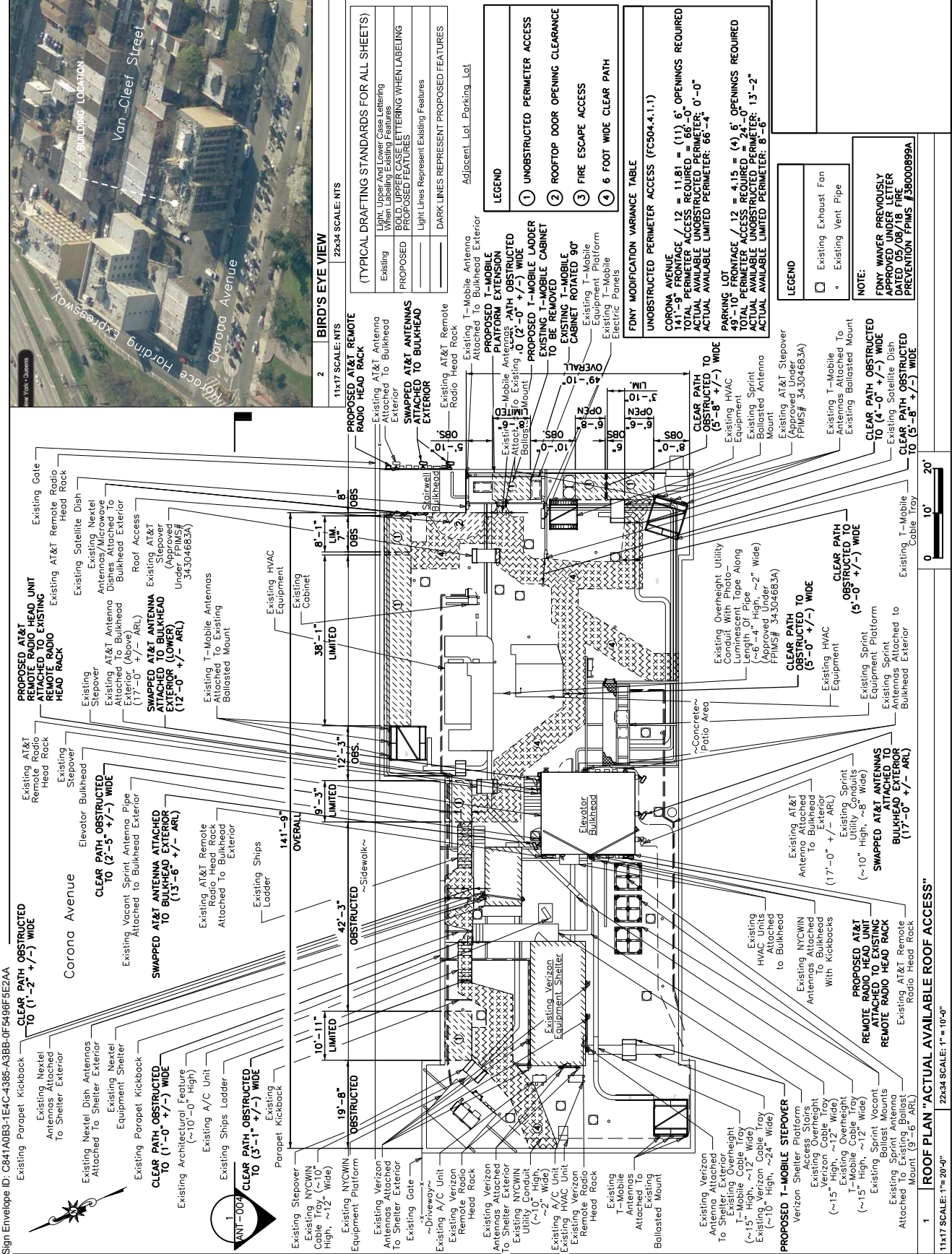
DRAWING NO.: PAGE NO.:

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**2 BIRD'S EYE VIEW**  
11x17 SCALE: NTS  
22x34 SCALE: NTS



**LEGEND**

- ① UNOBSTRUCTED PERMETER ACCESS
- ② ROOFTOP DOOR OPENING CLEARANCE
- ③ FIRE ESCAPE ACCESS
- ④ 6 FOOT WIDE CLEAR PATH

**UNOBSTRUCTED PERMETER ACCESS (FC504.4.1.1)**

CORONA AVENUE FRONTAGE / 12 = 11.81 = (11) 6" OPENINGS REQUIRED  
TOTAL PERMETER ACCESS REQUIRED = 66'-0"  
ACTUAL AVAILABLE UNOBSTRUCTED PERMETER: 0'-0"

**PARKING LOT FRONTAGE / 12 = 4.15 = (4) 6" OPENINGS REQUIRED  
TOTAL PERMETER ACCESS REQUIRED = 24'-0"  
ACTUAL AVAILABLE UNOBSTRUCTED PERMETER: 13'-2"  
ACTUAL AVAILABLE LIMITED PERMETER: 8'-6"**

**LEGEND**

- Existing Exhaust Fan
- Existing Vent Pipe

**NOTE:**  
FDNY WAVED PREVIOUSLY APPROVED UNDER LETTER DATED 05/09/18 FIRE PREVENTION F.P.M.S. #56000899A

**SDG**  
SCHERER DESIGN GROUP

Shakouma at Hunterdon  
53 Fontaine Road, Suite 200  
Hampton, NJ 08827  
PH 908.323.2513 Fax 908.323.2525

**DRAFT**  
**NOT FOR CONSTRUCTION**

COLLEEN CONNOLLY  
NY PROFESSIONAL ENGINEER #087818  
IT IS HEREBY CERTIFIED THAT I AM A LICENSED PROFESSIONAL ENGINEER IN MECHANICAL ELECTRICAL AND PLUMBING AND I HAVE PREPARED OR SUPERVISED THE PREPARATION OF THIS DOCUMENT IN ANY WAY.  
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SHORE 2 SHORE WIRELESS, INC.



5550 MERRICK ROAD, SUITE 302  
MASSAPEQUA, NY 11758



CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVALS REQUIRED BY ALL APPLICABLE CODES AND REGULATORY AGENCIES.

NO.	ISSUE OR REVISION	DATE	BY
A	ISSUED FOR REVIEW	06/14/19	RL

PROJECT TITLE:  
CONSTRUCTION DOCUMENTS

SITE #:  
NYNYNY0652

SITE NAME:  
MEADOW LAKE

SITE ADDRESS:  
111-26 CORONA AVENUE  
QUEENS, NY 11368

SDG PROJECT #: 19SS0007

SCALE: AS NOTED DATE: 06/14/19

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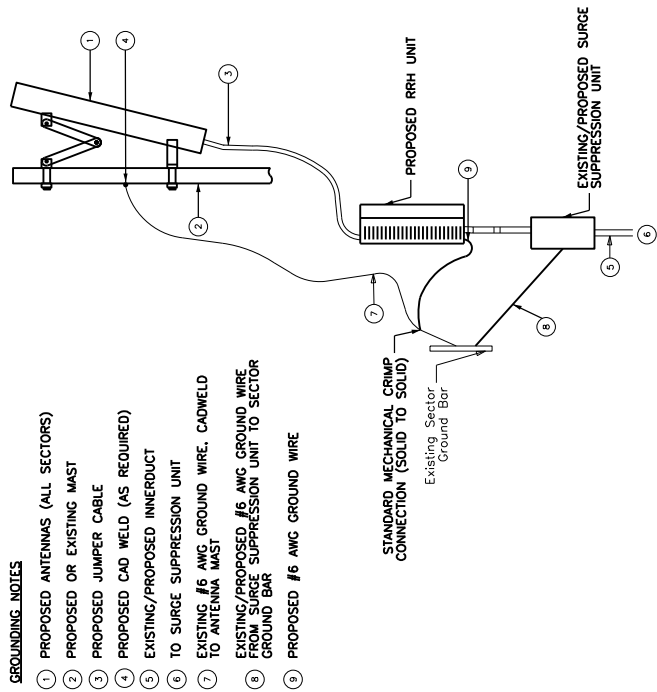
DRAWING TITLE:  
ROOF PLAN

"ACTUAL AVAILABLE" ROOF ACCESS

DRAWING NO.:  
ANT-008-000

PAGE NO.:  
9 of 10





**GROUNDING NOTES**

- 1 PROPOSED ANTENNAS (ALL SECTORS)
- 2 PROPOSED OR EXISTING MAST
- 3 PROPOSED JUMPER CABLE
- 4 PROPOSED CAD WELD (AS REQUIRED)
- 5 EXISTING/PROPOSED INNERDUCT
- 6 TO SURGE SUPPRESSION UNIT
- 7 EXISTING #6 AWG GROUND WIRE, CADWELD TO ANTENNA MAST
- 8 EXISTING/PROPOSED #6 AWG GROUND WIRE FROM SURGE SUPPRESSION UNIT TO SECTOR GROUND BAR
- 9 PROPOSED #6 AWG GROUND WIRE



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MASSAPEQUA, NY 11758  
APPLICANT:  
**at&t**  
SHORE 2 SHORE WIRELESS, INC.

CONTRACTOR SHALL CONTACT SDG PRIOR TO ORDERING MATERIALS OR SERVICES. SDG SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.  
DATE: 06/14/19  
BY: RL

NO.	ISSUE OR REVISION	DATE	BY
A	ISSUED FOR REVIEW	06/14/19	RL

PROJECT TITLE:  
CONSTRUCTION DOCUMENTS  
SITE #:  
NYYNY0652  
SITE NAME:  
MEADOW LAKE  
SITE ADDRESS:  
111-26 CORONA AVENUE  
QUEENS, NY 11368

SDG PROJECT #: 19SSL007  
SCALE: AS NOTED DATE: 06/14/19  
DRAWN BY: RL CHECKED BY: LM

DRAWING TITLE:  
GROUNDING DETAILS

DRAWING NO.: E-001.00 PAGE NO.: 10 of 10

Landlord Site Name / Number: Rego Park / 392308

Landlord Contract Number: RT19289

CTC Site Name / Number / FA#: Meadow Lake / NYNYNY0652 / 10075049

**Exhibit 3-5**

*See attached Rooftop Relocation/ Reconfiguration Application*

Exhibit 3-5						
<b>Customer Name:</b> AT&T MOBILITY		<b>ATC Asset Name:</b> Rego Park		<b>ATC Asset #:</b> 392308		
<b>Customer Site Name:</b> Meadow Lake				<b>Customer Site #:</b> NYNYNY0652		
GROUND SPACE REQUIREMENTS						
<b>Total Lease Area</b>	Sq. Ft: 119.00'	<b>Primary Contiguous Lease Area</b>		L:	W:	H: Sq. Ft: 119.00
<b>Outside Primary Lease Area</b>				N/A	N/A	N/A Sq. Ft: N/A
BACKUP POWER REQUIREMENTS						
<b>Generator:</b>	N/A	<b>Capacity(KW):</b>	N/A	<b>Fuel Tank Size(gal):</b>	N/A	<b>Fuel Type:</b> N/A
				<b>Fuel Tank Setback(radius):</b> N/A		
UTILITY REQUIREMENTS						
<b>Power Provided By:</b> Utility Company Direct						
<b>Telco/Interconnect:</b> N/A						
TRANSMITTER & RECEIVER SPECIFICATIONS						
<b>Type:</b>	N/A	<b>Quantity:</b>	N/A	<b>TX Power(watts):</b>	N/A	<b>ERP(watts):</b> N/A
ANTENNA EQUIPMENT SPECIFICATIONS						
Type	PANEL	BOB/SSB	BOB/SSB	BOB/SSB	RRU/RRH	RRU/RRH
Manufacturer	Commscope	Generic	Raycap	Raycap	Nokia	Nokia
Model #	NNHH-65A-R4 (83.8 lbs)	12" x 12" Junction Box	DC6-48-60-18E	DC2-48-60-0-9E	AirScale RRH 4T4R B5 160W AHCA	AirScale Dual RRH 4T4R B12/14 320W AHLBA w/ cover
Dimensions HxWxD	55.1" x 19.6" x 7.8"	12" x 12" x 8"	20.1" x 18.2" x 6.4"	10.3" x 10.3" x 6.2"	13.3" x 11.6" x 6.5"	28.7" x 15.4" x 9.4"
Weight(lbs.)	83.8	10.0	43.5	16.0	35.3	101.4
Location	Rooftop	Rooftop	Rooftop	Rooftop	Rooftop	Rooftop
RAD Center AGL	81.0'	81.0'	81.0'	81.0'	81.0'	81.0'
Antenna Tip Height	83.3'	81.5'	81.8'	81.4'	81.6'	82.2'
Antenna Base Height	78.7'	80.5'	80.2'	80.6'	80.4'	79.8'
Mount Type	N/A	N/A	N/A	N/A	N/A	N/A
Quantity	9	3	3	3	3	3
Azimuths/Dir. of Radiation	0/120/240	0/120/240	0/120/240	0/120/240	0/120/240	0/120/240
Quant. Per Azimuth/Sector	3/3/3	1/1/1	1/1/1	1/1/1	1/1/1	1/1/1
TX/RX Frequency Units	MHz	N/A	N/A	N/A	N/A	N/A
TX Frequency	716-728, 734-746, 788-798, 869.04-879.99, 890.01-891.48, 1930-1945, 1965-1970, 2170-2180, 2350-2360	N/A	N/A	N/A	N/A	N/A
RX Frequency	704-728, 758-768, 824.04-834.99, 845.01-846.48, 1850-1865, 1885-1890, 2170-2180, 2305-2315	N/A	N/A	N/A	N/A	N/A
Using Unlicensed Frequencies?	No	No	No	No	No	No
Antenna Gain	12.7	N/A	N/A	1	N/A	N/A
Total # of Lines	18	0	6	0	0	0
Line Quant. Per Azimuth/Sector	6/6/6	N/A	2/2/2	N/A	N/A	N/A
Line Type	Coax	N/A	Conduit	N/A	N/A	N/A
Line Diameter Size	7/8" Coax	N/A	2" Carflex Non-Metallic Conduit	N/A	N/A	N/A
Line Configuration	N/A	N/A	N/A	N/A	N/A	N/A

ANTENNA EQUIPMENT SPECIFICATIONS						
Type	RRU/RRH	RRU/RRH	RRU/RRH	PANEL	GPS	GPS
Manufacturer	Alcatel-Lucent	Alcatel-Lucent	Alcatel-Lucent	Generic	PCTEL	Kathrein Scala
Model #	B66a RRH4x45 (AWS-3)	B25 RRH4x30	RRH4X25-WCS	96" x 24" Panel	GPS-TMG-HR-26N	OG-860/1920/GPS-A
Dimensions HxWxD	26.6" x 12" x 6.8"	21.2" x 12" x 7.2"	31.5" x 12" x 8.7"	96" x 24" x 12"	5" x 3.2" x 3.2"	13" x 2" x 2"
Weight(lbs.)	67.0	53.0	70.0	100.0	0.6	1.7
Location	Rooftop	Rooftop	Rooftop	Rooftop	Rooftop	Rooftop
RAD Center AGL	81.0'	81.0'	81.0'	77.0'	77.0'	77.0'
Antenna Tip Height	82.1'	81.9'	82.3'	81.0'	77.2'	77.5'
Antenna Base Height	79.9'	80.1'	79.7'	73.0'	76.8'	76.5'
Mount Type	N/A	N/A	N/A	N/A	N/A	N/A
Quantity	3	3	3	3	1	1
Azimuths/Dir. of Radiation	0/120/240	0/120/240	0/120/240	0/120/240	1	0
Quant. Per Azimuth/Sector	1/1/1	1/1/1	1/1/1	1/1/1	1	1
TX/RX Frequency Units	N/A	N/A	N/A	MHz	N/A	N/A
TX Frequency	N/A	N/A	N/A	0-0	N/A	N/A
RX Frequency	N/A	N/A	N/A	0-0	N/A	N/A
Using Unlicensed Frequencies?	No	No	No	No	No	No
Antenna Gain	N/A	N/A	N/A	N/A	1.4	4
Total # of Lines	0	0	0	0	1	1
Line Quant. Per Azimuth/Sector	N/A	N/A	N/A	N/A	1	1
Line Type	N/A	N/A	N/A	N/A	Coax	Coax
Line Diameter Size	N/A	N/A	N/A	N/A	1/2" Coax	1/2" Coax
Line Configuration	N/A	N/A	N/A	N/A	N/A	N/A

ANTENNA EQUIPMENT SPECIFICATIONS						
Type	DISH-STANDARD	N/A	N/A	N/A	N/A	N/A
Manufacturer	Generic	N/A	N/A	N/A	N/A	N/A
Model #	3' Std. Dish	N/A	N/A	N/A	N/A	N/A
Dimensions HxWxD	3.00' x 3.00' x -'	N/A	N/A	N/A	N/A	N/A
Weight(lbs.)	100.0	N/A	N/A	N/A	N/A	N/A
Location	Rooftop	N/A	N/A	N/A	N/A	N/A
RAD Center AGL	N/A	N/A	N/A	N/A	N/A	N/A
Antenna Tip Height	N/A	N/A	N/A	N/A	N/A	N/A
Antenna Base Height	N/A	N/A	N/A	N/A	N/A	N/A
Mount Type	N/A	N/A	N/A	N/A	N/A	N/A
Quantity	1	N/A	N/A	N/A	N/A	N/A
Azimuths/Dir. of Radiation	1	N/A	N/A	N/A	N/A	N/A
Quant. Per Azimuth/Sector	1	N/A	N/A	N/A	N/A	N/A
TX/RX Frequency Units	GHz	N/A	N/A	N/A	N/A	N/A
TX Frequency	1	N/A	N/A	N/A	N/A	N/A
RX Frequency	1	N/A	N/A	N/A	N/A	N/A
Using Unlicensed Frequencies?	No	N/A	N/A	N/A	N/A	N/A
Antenna Gain	37	N/A	N/A	N/A	N/A	N/A
Total # of Lines	0	N/A	N/A	N/A	N/A	N/A
Line Quant. Per Azimuth/Sector	N/A	N/A	N/A	N/A	N/A	N/A
Line Type	N/A	N/A	N/A	N/A	N/A	N/A
Line Diameter Size	N/A	N/A	N/A	N/A	N/A	N/A
Line Configuration	N/A	N/A	N/A	N/A	N/A	N/A